

**SOUTH BROWARD DRAINAGE DISTRICT
GOVERNING BOARD MEETING MINUTES**

MARCH 30, 2017

Present:

Scott Hodges, Chairperson
James Ryan, Vice Chairperson
Vicki Minnaugh, Treasurer
Robert E. Goggin, IV, Secretary
Alanna Mersinger, Commissioner
Mercedes Santana-Woodall, Commissioner

Kevin M. Hart, District Director
Reina Muniz, Recording Secretary
Douglas R. Bell, Legal Counsel
General Public: See Attached List

Absent:

Thomas Good, Commissioner

01. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

Chair Hodges called the SBDD Board Meeting to order at 8:05 a.m.; with Vice Chair Ryan, Commissioner Minnaugh, Commissioner Goggin, Commissioner Santana-Woodall, and Commissioner Mersinger present; followed by the Pledge of Allegiance.

02. PUBLIC COMMENT

None.

03. APPROVAL OF MINUTES

Commissioner Goggin moved for approval of the minutes of the February 23, 2017, South Broward Drainage District Board meeting. Motion was seconded by Commissioner Minnaugh and it was carried unanimously.

04. DIRECTOR'S REPORT

A. PROCLAMATION FOR APRIL AS WATER CONSERVATION MONTH

Chair Hodges read a Proclamation from SBDD, declaring the month of April as "Water Conservation Month".

B. RELEASE AND VACATION REQUEST OF SURFACE WATER MANAGEMENT AREA (SWMA) DESIGNATION FOR AMPUERO RESIDENCE; SUBJECT TO THE DEDICATION OF A NEW SWMA

District Director Hart said that the owner of the property located at 17970 S.W. 52nd Ct., Southwest Ranches, FL 33331 requested that SBDD vacate the Surface Water Management

Area (SWMA) that was previously designated and recorded under OR Book 23404, Page 256, B.C.R. All properties in the SW Ranches are required to set aside 20% of their property at elevation 5.0' (or an equivalent storage area) as a SWMA.

The property owners, Juan Patricio Ampuero, III and Marie P. Jacob Ampuero, will dedicate a new SWMA over the property to comply with the 20% SWMA requirement. District Director Hart said that SBDD staff has reviewed the request and has no objections. There are no financial impacts to this Agenda Item, other than SBDD administrative costs; all other costs will be incurred by the property owner.

This request is for SBDD to vacate and release its interest in the SWMA on the property located at 17970 S.W. 52nd Ct., SWR as described in the "Release & Vacation of SWMA Designation". This request is subject to the dedication of a new SWMA in accordance with SBDD Criteria.

Commissioner Goggin moved for approval for the Release and Vacation of the SWMA Designation for the Ampuero resident located at 17970 S.W. 52nd Ct., Southwest Ranches, FL; subject to the dedication of a new SWMA in accordance with SBDD Criteria. Motion was seconded by Commissioner Santana-Woodall and it was carried unanimously.

C. RELEASE AND VACATION REQUEST OF SURFACE WATER MANAGEMENT AREA (SWMA) DESIGNATION FOR REYES/MASIHY RESIDENCE; SUBJECT TO THE DEDICATION OF A NEW SWMA

District Director Hart said that the owner of the property located at 4901 S.W. 195th Terrace., Southwest Ranches, FL 33332 requested that SBDD vacate the Surface Water Management Area (SWMA) that was previously designated and recorded under Instrument # 113877095, B.C.R. All properties in the SW Ranches are required to set aside 20% of their property at elevation 5.0' (or an equivalent storage area) as a SWMA.

The property owners, Gino Reyes and Myriam Masihy, will dedicate a new SWMA over the property to comply with the 20% SWMA requirement. District Director Hart said that SBDD staff has reviewed the request and has no objections. There are no financial impacts to this Agenda Item, other than SBDD administrative costs; all other costs will be incurred by the property owner.

This request is for SBDD to vacate and release its interest in the SWMA on the property located at 4901 S.W. 195th Terrace, SWR as described in the "Release & Vacation of SWMA Designation". This request is subject to the dedication of a new SWMA in accordance with SBDD Criteria.

Commissioner Minnaugh moved for approval for the Release and Vacation of the SWMA Designation for the Reyes/Masihy resident located at 4901 S.W. 195th Terrace, Southwest Ranches, FL; subject to the dedication of a new SWMA in accordance with SBDD Criteria. Motion was seconded by Commissioner Santana-Woodall.

Commissioner Goggin asked District Director Hart if the proposed movement of the SWMA on the property from one location to another is because the owner wants to do some construction on the property. District Director Hart replied yes, that is typically what these request are for;

the owner wants to do an improvement on a portion of the property that was previously set aside as a SWMA; and the owner is required to relocate.

The question was called and it was carried unanimously.

D. VARIANCE REQUEST FOR CHRISTINA MIRANDA PROPERTY AT 5366 S.W. 134TH AVENUE, MIRAMAR, FL 33027

District Director Hart stated that the owner of the property located at 5366 S.W. 134TH Avenue, Miramar, FL is requesting a variance from SBDD for an existing wood deck within a 20-foot Lake Maintenance Easement (LME) that exceeds the square footage allowance under SBDD's Criteria. The property is owned by Christina M. Miranda and is located in the Miramar Patio Homes development in Miramar. Ms. Miranda purchased the property in April, 2016.

The variance request is to allow a 457.5 square foot (sf) deck to remain within the 20-foot LME. SBDD criteria allows decks that cover no more than 25% of the LME area, which would allow a 332 sf deck on the Miranda property. The 457.5 sf deck equates to 34.5% of the LME area, or a 37.8% increase above criteria.

Currently, there is a total coverage of 94% of deck area within the LME area on the Miranda property, which includes the 457.5 sf wood deck; an additional 246.5 sf wood deck with a gazebo (chickee hut) and a dog house structure; and a 544 sf concrete patio area.

The wood deck was constructed in 2004 (approximate) by the previous property owner, along with the other improvements located within the 20-foot LME. As part of this request, the property owner has agreed to remove all other improvements within the 20-foot LME as follows:

- Concrete patio
- Gazebo (chickee hut) and surrounding wood deck; and dog house structure
- All electrical facilities
- All coconut palm trees

Ms. Miranda met with the Variance Review Committee (VRC) on March 16, 2017 and as a follow-up to that meeting the variance request was presented to the SBDD Board for consideration.

The details of the variance as discussed at the VRC are as follows:

1. All improvements currently existing within the 20-foot LME were constructed by the previous property owner.
2. No permits were obtained from SBDD.
3. It does not appear that a Building Permit was obtained from the City of Miramar.
4. Approval was granted by the Somerset Homeowners Association for the deck and chickee hut in 2004.
5. Per SBDD Criteria, a 332 sf deck is permitted within the 20-foot LME.

6. A total of approximately 1,248 sf of deck and patio area currently exist within the 20-foot LME.
7. The existing deck and patio areas exceed SBDD criteria by 916 sf or 276%.
8. The property owner is requesting that a 457.5 sf deck be allowed to remain within the LME.
9. The property owner has agreed to remove all other improvements within the 20-foot LME.
10. The 457.5 sf deck exceeds SBDD criteria by 125.5 sf or 37.8%
11. Ms. Miranda is agreeable to entering into an Indemnification and Hold Harmless Agreement with SBDD.

SBDD staff has no objections to this variance request.

There will be no financial impacts to this agenda item, as the property owner will be required to pay all associated legal costs, if any, and recording fees.

The requested variance is to allow an existing 457.5 sf. deck remain within the 20-foot LME on the property on the property located at 5366 SW 134th Avenue, Miramar; which exceeds SBDD Criteria by 125.5 sf. or 37.8%. If the variance is approved, the homeowner will be required to enter into an Indemnification and Hold Harmless Agreement with SBDD and pay for all associated legal fees and recording fees.

Commissioner Goggin made a motion to approve the Variance allowing a 456.5 sf deck to remain within the 20-foot LME; and subject to the removal of all other improvements within the 20-foot LME. Commissioner Santana-Woodall seconded the motion as amended.

Commissioner Mersinger asked how did the title company not bring this up. She said the homeowner did everything right. She stated, "Why should the homeowner be penalized for what the title company did not let them know". She asked District Director Hart how did this come to SBDD's attention. District Director Hart replied that this came to SBDD's attention because the property owner wants to construct a pool, and that would need SBDD's review and sign-off.

District Director Hart said that Mrs. Christina Miranda did express an interest in complying with SBDD Criteria; and SBDD tried to reach a compromise to bring this to the Board for their consideration. He said that she is willing to remove almost everything, but she wanted to keep the wood deck. They did buy the house based on the improvements on the property.

Commissioner Mersinger commented that her whole issue is with: (1) the HOA signing-off and then dropping the ball, and (2) the title company not letting the homeowner know ahead of time, that all this stuff was placed illegally; and then the homeowner would have to assume the cost of this.

Commissioner Santana-Woodall said that it was her understanding that they do not need a permit to install a chickee hut. District Director Hart replied that they typically don't need a permit from the City, but they still require a permit from SBDD. Commissioner Minnaugh and Chair Hodges added that they cannot place it anywhere they want, and that it had to be built by a contractor.

Commissioner Minnaugh asked the homeowner if they had an attorney present at the closing. Mrs. Miranda replied yes, and that she did not know anything about this, until the day of the closing; and being told that they had to leave where they were currently living, with a family of six, the question was, do they go ahead with the closing and move into this home or not.

Commissioner Minnaugh asked District Director Hart if any part of this deck is in the water. District Director Hart said no, it's strictly on land and from what they can tell, it is well constructed.

Chair Hodges asked if they will be getting a permit from the City of Miramar. District Director Hart said yes; that the city is requiring approval from SBDD first.

Commissioner Minnaugh had concerns that the pool would be installed in the lake maintenance easement and that the Contractor would come back for another variance. Mr. Isabelo Rodriguez, from Accutilities, LLC (Contractor) said that he recommended that the homeowner come to SBDD first, before anything is done.

Commissioner Goggin requested that since the homeowner has no fault here, and with all that they need to remove, can the staff help the homeowner out. District Director Hart said yes, absolutely (in regards to permitting and inspections). Commissioner Goggin suggested that she should hold someone accountable, because it should not be on her shoulders.

The Commissioners suggested that she speak to her attorney and that she make her Association aware, because they are not always aware of what transpires in these types of situations.

Chair Hodges asked if there was a way of giving approval contingent on getting City of Miramar approval; and can there be language that says the approval of this does not allow any infringement ... etc. District Director Hart replied yes, that the SBDD permit would be contingent upon a City permit.

Mr. Rodriguez said that he spoke to the city and that they are reviewing the drawings for the swimming pool. He indicated to the city what was going on with the variance request; and they told him that they are looking forward to seeing what SBDD's response will be on the variance in order for them to move forward with the approval of the zoning, and the building of the pool. Commissioner Mersinger and Commissioner Minnaugh wanted to make clear to Mr. Rodriguez that neither the pool or the pool deck will be in the easement. Mr. Rodriguez commented that on the pool plans that were submitted to the city, that the layout of the pool/pool deck will be completely out of the easement. They are doing everything by code.

Commissioner Santana-Woodall asked if they are going to have any green space in the LME area. Mr. Rodriguez said that besides the slope, that there will be other areas that will have green (sod). The owner stated that there will be green area in between the decking of the pool and the wood deck.

The question was called and it was carried unanimously.

E. CONTRACT AWARD(S):

1. SBDD STORMWATER CULVERT SLIP-LINING PROJECT IN SWR

District Director Hart stated that SBDD advertised for bids for the SBDD Stormwater Culvert Slip-lining Project in Southwest Ranches. SBDD received two (2) bids ranging in price from \$29,840.00 to \$54,994.00. Each bidder was required to visit the sites with a SBDD representative as a prerequisite to submitting a bid.

The bid included a base bid price for two separate locations; and the bid documents allow the District the option of awarding the contract on a split basis.

The lowest bid for both locations was submitted by Shenandoah Construction Company (Shenandoah) in the total amount of \$29,840.00. SBDD has reviewed the bid submitted by Shenandoah and has determined that the bid is complete and meets all requirements, and that the Contractor is qualified to perform the work. In addition, SBDD has been satisfied with previous work performed by Shenandoah.

District Director Hart recommended that the bid for the SBDD Culvert Slip-Lining Project in SW Ranches be awarded to Shenandoah Construction Company in the total amount of \$29,840.00 as the lowest responsive, responsible bidder.

The work covered under this project is included as part of the District's 2016-2017 budget; and funding for the project will come from the SBDD General Operating account.

Commissioner Minnaugh moved for approval to award SBDD Culvert Slip-Lining Project as recommended by the District Director to Shenandoah Construction Company, in the total amount of \$29,840.00. Motion was seconded by Commissioner Santana-Woodall.

Commissioner Minnaugh asked where the culverts are located. District Director Hart replied that the culverts are located at the Rolling Oaks area. He explained that this is a continuation of work that the District has been doing over the past several years. Many of the culverts are within the secondary and lateral canals in Rolling Oaks and are under roads connecting the canals; they are old aluminum metal culverts that are starting to fail and this is an economical way to reinforce those pipes, and extend their life by 40 to 50 years without having to dig up and replace. He said that the District has been able to do two culvert linings a year, and it has been going very well.

Commissioner Minnaugh asked if the Town of SWR was doing a cost share. District Director Hart said not on these, but that the District is doing other cost sharing projects with the Town.

The question was called and it was carried unanimously.

F. SBDD RESOLUTION 2017-01 – ADOPTING POLICIES FOR THE SALE, LEASE, OR TRANSFER OF SURPLUS LAND (REAL PROPERTY)

District Director Hart presented proposed SBDD Resolution No. 2017-01 which will adopt proposed Policies and Guidelines for the sale, lease, conveyance, or transfer of surplus land.

He said that the Policies and Guidelines have been revised to incorporate the changes requested by the Board at the last Board meeting.

The proposed Policies and Guidelines are intended to provide the District with a mechanism for disposing of surplus land in a manner that is in the best interest of the District, and the Board shall be required to approve the sale, lease, conveyance, or transfer of any surplus land.

The District Director requested approval of Resolution No. 2017-01 which will establish policies and guidelines for the District to sell, lease, convey, or transfer surplus land within the District; and the Board of Commissioners shall be required to approve the sale, lease, conveyance, or transfer of any surplus land.

Commissioner Minnaugh moved for approval of Resolution 2017-01, Adopting Policies for the Sale, Lease or Transfer of Surplus Land. Motion was seconded by Commissioner Goggin and it was carried unanimously.

G. RESOLUTION 2017-02 – AGREEMENT OF NOTATION ON PLAT FOR THE “MIRAMAR PARK OF COMMERCE – PHASE V” PLAT (PLAT BOOK 170, PAGE 161, B.C.R.)

District Director Hart presented proposed SBDD Resolution No. 2017-02 which authorizes SBDD to enter into an Agreement with Broward County for an Amendment of Notation on the Plat affecting the “Miramar Park of Commerce - Phase V” Plat in Miramar, Florida. The “Miramar Park of Commerce - Phase V” Plat was approved by the Broward County Board of County Commissioners on July 10, 2001 and was recorded in Plat Book 170, Page 161 of the public records of Broward County.

District Director Hart said that Sunbeam Development Corporation, an owner of a portion of the platted area, has petitioned Broward County to amend the notation on the face of the plat to revise the allowable number of hotel rooms within the plat. As part of the approval process, Broward County requires all owners and mortgage holders of the platted property to enter into an “Agreement for Amendment of Notation of Plat” (Agreement). Because SBDD is the owner of a lake parcel within the platted property, Broward County requested that the District enter into the Agreement.

Sunbeam Development Corporation has acknowledged that it will enter into a Maintenance and Indemnification Agreement with SBDD, and will obtain a Paving & Drainage Permit from the District for any future construction activities on its property located within the limits of the plat, and will dedicate to the District any required drainage-related easements in accordance with the District’s Criteria Manual.

SBDD staff has no objections to the proposed amendment to the notation on the face of the plat as there will be no impacts related to the drainage and surface water management systems on the property.

There are no financial impacts to this Agenda Item, other than SBDD administrative costs; all other costs will be incurred by Sunbeam Development Corporation.

Commissioner Minnaugh moved for approval of Resolution 2017-02, authorizing SBDD to

enter into an Agreement with Broward County for an Amendment of Notation on the Plat affecting the “Miramar Park of Commerce - Phase V” Plat in Miramar, Florida. Motion was seconded by Commissioner Goggin.

Chair Hodges recused himself from the vote, due to the fact that he works for the owner of a portion of the Platted property.

The question was called and it was carried unanimously.

H. REQUEST TO TRANSFER UNASSIGNED FUNDS INTO THE SBDD AS-BUILT LIABILITY ACCOUNT AND SBDD CIP COMMITTED ACCOUNT

District Director Hart requested to transfer \$244,900 in unassigned funds from the SBDD General Operating Account into the SBDD As-Built Liability Account.

He said that based on the Annual Financial Statements for the fiscal year ending September 30, 2016, SBDD has a total of \$917,029 in unassigned or undesignated funds. These funds are available to the District as revenues for future year budgets as an Appropriation of Fund Balance, or for designated purposes as approved and directed by the Board.

After re-evaluating the District’s current liabilities (as-built cash bonds), it was determined that the District’s total liability equals \$682,680. Of this amount, \$516,600 represents the total of unclaimed funds that the District is working to return in accordance with the State’s Unclaimed Funds Act. Any unclaimed funds that the District is unable to return to the original depositor (or permittee) will be returned to the State.

District Director Hart said that this was discussed on several occasions with the Board. He said that the District updated the Criteria two years ago where the language was changed, and SBDD no longer requires a written request to return the bond when the job is completed. The District was holding quite a bit of money from old projects, where a written request was never made; and those are considered unclaimed funds. There are statutory rules on how to deal with that. He said that he met with a representative of the state and they are working on it. Whatever monies are not able to be returned, a check will be written to the state with an accounting of the bonds for the state to reach out to the rightful parties.

The current balance in the SBDD Liability Account is \$437,780. Therefore, it is necessary to transfer \$244,900 from the General Operating Account (unassigned funds) into the SBDD Liability Account, which will bring the total account balance to \$682,680.

District Director Hart said that the good news is that the District has the funds. He said that in past years, the District has transferred unassigned funds into the CIP; and they would’ve liked to transfer to the CIP, but this is something that is necessary.

SBDD staff has performed a 12-Month Cash Flow Analysis to verify that with this transfer, SBDD will retain a sufficient cash-on-hand balance to cover all anticipated operating, CIP, and liability expenses over the next 12 months. The Cash Flow Analysis takes into account monthly operating expenses; projected revenues; CIP expenses; liability expenses, and anticipated transfers of cash between SBDD accounts.

The Cash Flow Analysis indicates that SBDD will have a cash-on-hand total of \$882,436 in its General Operating Account as of 8/31/2017, and shows that the District will need to cash out three (3) CD investment funds between now and 8/31/2017.

District Director Hart requested approval to transfer a total of \$244,900 in unassigned funds from the SBDD General Operating Account into the SBDD Liability Account as noted above.

Commissioner Goggin moved for approval of the transfer of Unassigned Funds into the SBDD As-Built Liability Account and SBDD CIP Committed Account as requested by the District Director. Motion was seconded by Commissioner Santana-Woodall.

Commissioner Mersinger asked how far back did the District go. District Director Hart replied that they have gone as far back as the 1990s. She asked if there is a statutory rule as to how far back they need to go. District Director Hart said that under the statute, the trigger for returning the funds is not when the request to return the bond is received, but when the funds are able to be returned.

Commissioner Goggin clarified that if the three CD's are cashed out, those will be permanent cash outs, and SBDD will not do any reinvestment on those funds. District Director Hart replied yes.

The question was called and it was carried unanimously.

I. OTHER

- **Maintenance Building Expansion Update** - District Director Hart stated that there was a mandatory pre-bid meeting and site visit last week and it went very well; Chair Hodges was present. He said that he is hoping for five bids. If all goes well, he should have a recommendation for the Board in April.
- **Water Matters Day.** - District Director Hart thanked the Board members who attended the Water Matters Day at Tree Top Park. He said that SBDD received an award for the SBDD Sluice Gates and Green Initiative Program.
- **Legislation** – District Director Hart said that the legislature may pass a bill that will require all Special Districts and Government Officials to take a training of 4 hours on Ethics, Sunshine Law and Election Law. He said that FASD is working to set up an online program for elected officials to logon and take a course to meet this requirement.
- **River Run Meeting** – District Director Hart attended a H.O.A. meeting at River Run to discuss and educate the community on what SBDD's function is, the services we provide, and where we focus our attention. He said it was well attended and he will continue to participate and work with residents on any issues regarding drainage erosion, etc.
- **CIP Project Update** - District Director Hart gave an update on the CIP projects. He commented that the District was able to save money on the two engine contracts because

Mr. Thompson felt confident enough to reinstall the engines himself.

The following CIP's have been completed or are about to be completed:

- Cost-Share work on 55th Court, SWR – Completed
- Engine repair work – Completed (1st engine is back and reinstalled; 2nd engine soon to be reinstalled).
- Culvert Slip-Lining Project at S-3 Pump Station - Completed

05. ATTORNEY'S REPORT:

None.

06. APPROVAL OF LEGAL FEES

Commissioner Goggin moved for approval of the legal bills. Motion was seconded by Commissioner Minnaugh and it was carried unanimously.

07. BOARD MEMBER'S QUESTIONS/COMMENTS

Commissioner Mersinger commented that she attended Broward Days and spoke to many people. She said that the Bill for CCNA still has no companion. She commented that SWR representatives were present at the Broward Days, and that because they were present, it helped cement the relationship between them and us.

Commissioner Santana-Woodall extended an invitation to "Relay for Life". It will be held at Walter C. Young Middle School from March 31st thru April 1st, 2017 with opening ceremony at 7:00 p.m.

08. MEETING DATE(S)

A. **Regular Board Meeting** will be held on **Thursday, April 27th at 8:00 a.m.**

Adjournment at 9:05 A.M.

Respectfully submitted,

Robert E. Goggin IV, Secretary
South Broward Drainage District

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MEMORANDUM

DATE: April 20, 2107

TO: South Broward Drainage District Commissioners

FROM: Kevin M. Hart, P.E.
District Director

Subject: Variance Request for Property Owned by Jose M. and Betzaida Oquendo at 14861 SW 20th Street, Miramar, FL 33027

Comments:

The owner of the property located at 14861 SW 20th Street, Miramar, FL 33027 is requesting a variance from SBDD to construct a screen enclosure over a concrete patio within a portion of a 20-foot Lake Maintenance Easement (LME). The property is owned by Jose M. and Betzaida Oquendo and is located in the Silver Shores development in Miramar.

The Oquendos desire to construct a screened-in patio that will encroach 5-feet into an existing SBDD LME. The variance is only to allow the patio area to be screened, as the encroachment of the patio into LME is permissible under SBDD's criteria and does not require a variance.

The reason for this request is provide a screened-in patio enclosure for the Oquendo's 24-year old daughter who is quadriplegic. The screened-in patio will provide a stimulating, open-air environment for their daughter and will provide enough room for a therapeutic whirlpool tub and other equipment as recommended by her orthopedic doctor. The overall improvements will provide for an improved quality of life for their daughter.

Mr. Oquendo met with the Variance Review Committee (VRC) on April 17, 2017 and as a follow-up to that meeting the variance request is being presented to the SBDD Board for consideration.

The details of the variance as discussed at the VRC are as follows:

1. The proposed patio deck (without the screened enclosure) does not require a variance from SBDD.
2. The edge of the patio will be located approximately 19' - 20' from the edge of water. SBDD criteria allows the patio deck to be located no closer than 16' from the edge of water.
3. The Oquendos have obtained approval from the Silver Shores HOA.
4. The Contractor will obtain a permit from both SBDD and the City of Miramar.
5. The applicant has agreed to increase the size of the footers for the columns for the screen enclosure.
6. There will be no electrical facilities located within the 20-foot LME.
7. The Oquendos are agreeable to entering into an Indemnification and Hold Harmless Agreement with SBDD.

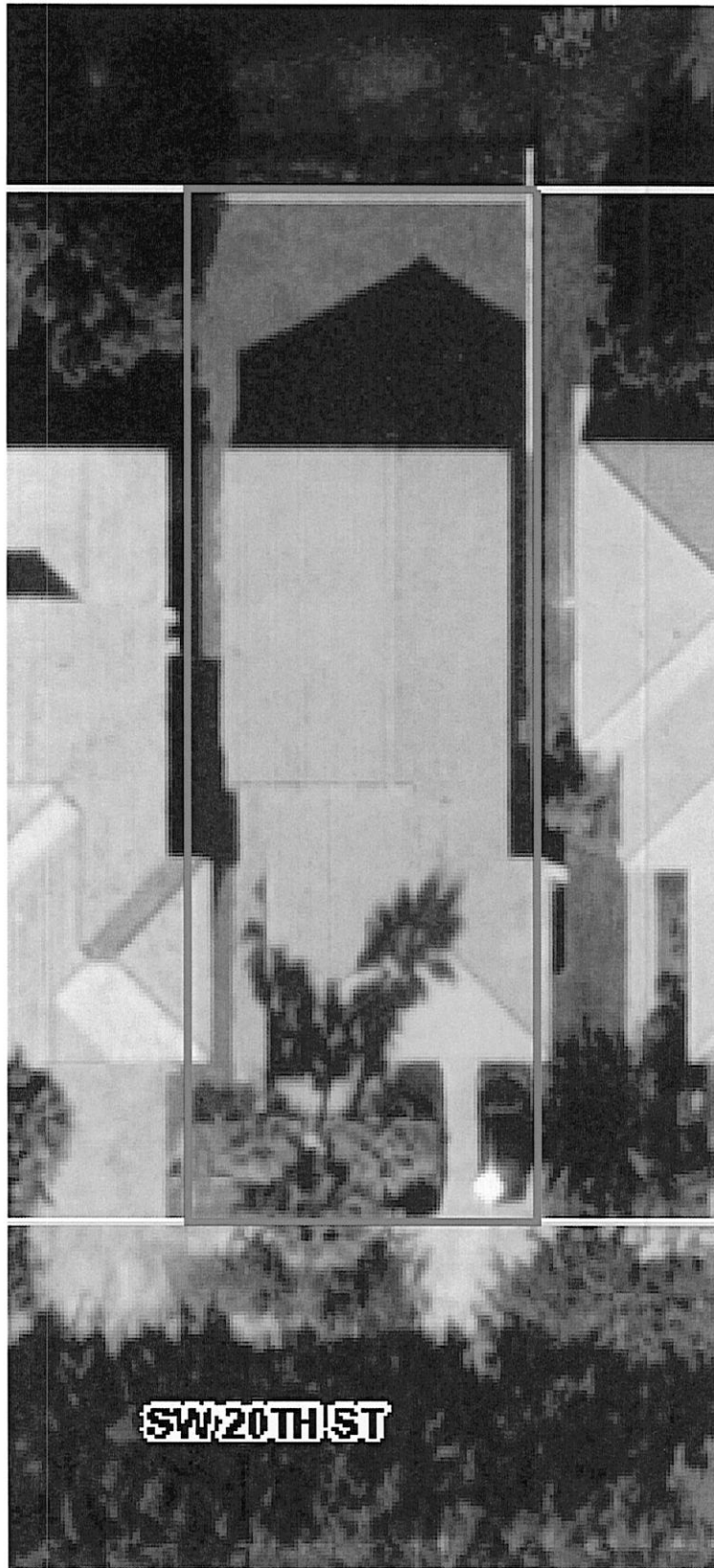
SBDD staff has no objections to this variance request.

Financial impacts to this Agenda Item: there will be no financial impacts to this agenda item, as the property owner will be required to pay all associated legal costs, if any, and recording fees.

The requested variance is to allow a screen enclosure to encroach 5-feet into a SBDD 20-foot Lake Maintenance Easement on the property located at 14861 SW 20th Street, Miramar, FL 33027. If the variance is approved, the homeowner will be required to enter into an Indemnification and Hold Harmless Agreement with SBDD and pay for all associated legal fees and recording fees.

KH
Attachments

OQUENDO, JOSE & BETZAIDA



LOCATION: 14861 SW 20 ST., MIRAMAR

To whom it may concern,

We are requesting additional patio space for the following reasons: We, the homeowners, are the parents of a 24yo quadriplegic daughter who is wheelchair bound and suffers from chronic respiratory distress. Our daughter has an extremely weakened immune system due to her condition and is prone to frequent respiratory infections as well as bronchitis. It would be beyond beneficial for us to have an enclosed patio area for her. The benefits for our daughter would be outside stimulus via sound, sunlight absorption, and fresh air consumption with a reduced risk for airborne infection.

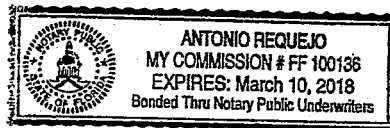
The additional space would ensure accommodation of her current medical equipment, which is required by her side at all times, as well as enough space for her nurse or caregiver. We would also like enough space to install a therapeutic whirlpool tub, as recommended by her orthopedic Dr., as well as leisure equipment such as a hammock or swing suited for her condition, in order to give her the best life possible.

Thank you in advance for your consideration,

Jose & Betzaida Oquendo

Betzaida Oquendo
4/3/2017
Jose

Jose Oquendo
Betzaida Oquendo



Antonio Requejo

Silver Shores Master Association, Inc.
15601 Silver Shores Blvd
Miramar, FL 33027
954-432 2691

02/11/2017

Betzaida Oquendo
14861 SW 20 Street
Miramar, FL, 33027

**RE: Architectural Approval
14861 SW 20 Street-D052**

Dear Homeowner:

Your request for architectural change has been approved for the following specific modification to your home:

Install screen back patio with concrete floor.

The approval of your request for architectural change is subject to the following stipulations:

- Must adhere to City of Miramar and HOA guidelines.**
- Must obtain all the required permits from the City prior to installation.**
- Management office must be notified upon completion of the project by completing the attached form.**

The Association reserves the right to make a final inspection of the modification to ensure that it corresponds with the submitted request for architectural change and conforms to any stipulations of the approval. Please adhere to the plan you submitted, or submit an additional Request for Architectural Change if you need to deviate from the submitted plan.

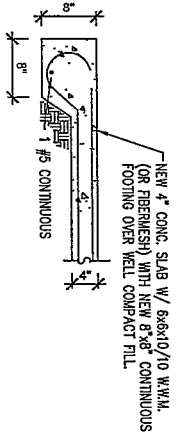
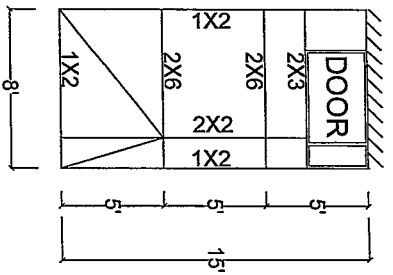
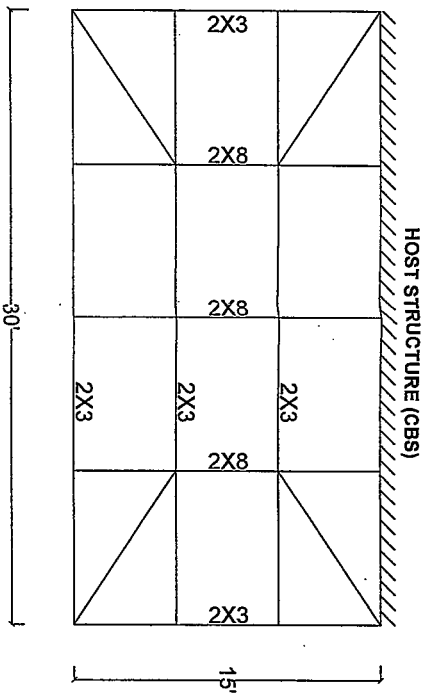
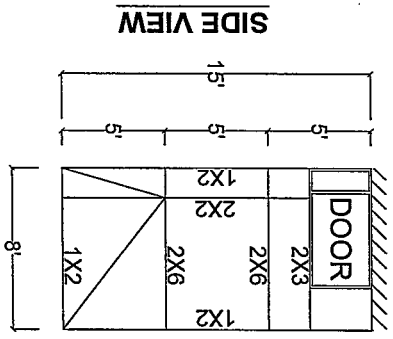
Please be aware that you may also be required to meet certain local building codes and setback requirements when making this modification. Additional permits may be required and can be applied for at the city offices. Please also be aware that you are responsible for contacting the appropriate utility companies should your modification involve any digging activity.

This approval is based only on the aesthetics of your proposed modification and should not be construed as certification of construction worthiness and/or structural integrity of the proposed modification.

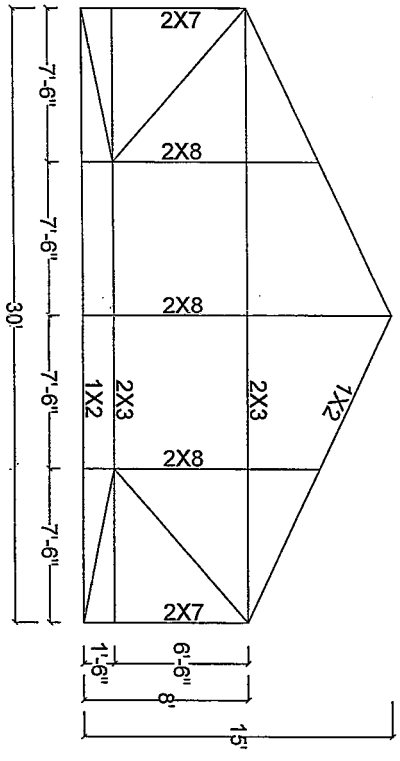
We appreciate your cooperation in submitting this request for architectural change. The Association encourages owners to take an interest in the appearance of their homes since an attractive community helps protect and enhance the value of all homes.

Respectfully,

ARC Committee
Silver Shores Master Association, Inc.



FOOTING DETAIL



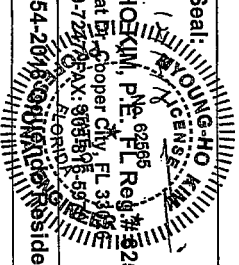
FRONT VIEW

FLAT SCREEN ROOF

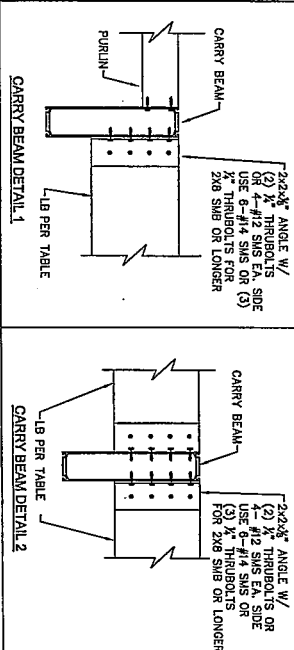
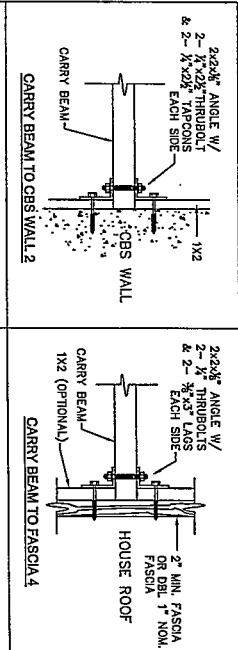
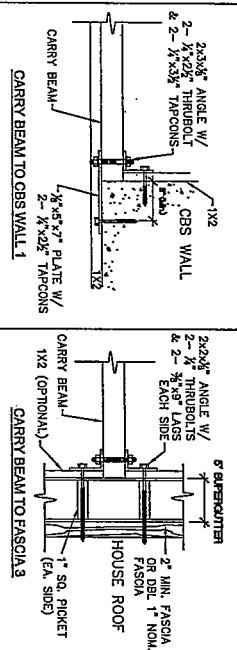
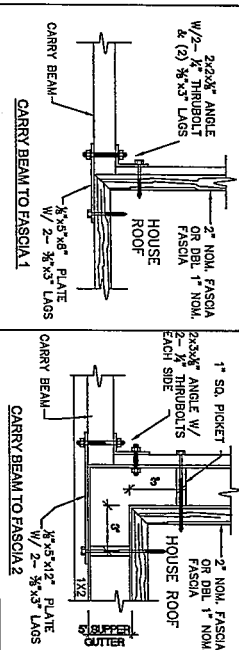
- 170 MPH & Exposure "C"
- New 4" monolithic concrete slab & 8"x8" perimeter footer w/ 1 #5
- According to the rational analysis, the above provided foundation and attachment to the host structure are adequate to support gravity, uplift, and lateral loads imposed by the new structure
- Self latching, self closing door(s). (3' x 6')
- This design complies with F.B.C. 2014 5th Edition & ASCE 7-10

Project Site Address:
 Oquendo Residence
 14861 SW 20th St
 Miramar, FL 33027

Engineer Seal:
 Date: **MYOUNGHO KIM, P.E.**
 2653 Baccarat Dr., Cooper City, FL 33093
 TEL: 954-559-7272 FAX: 908-596-5996
 Project #: 54-20748 Oquendo Residence



- GENERAL NOTES**
- All details provided comply with FBC 2014 8th Edition & ASCE 7-10.
 - Ultimate Design Wind Speed: 170 mph, Exposure C, & Category I.
 - All concrete (existing & new) shall have a minimum compressive strength of 2800 psi.
 - Reinforcement shall be #4 or #5 steel with a minimum yield strength of 60,000 psi.
 - Installation is allowed when using beam and column tables.
 - Existing footers may be used if they are in satisfactory structural condition. If incorporating in exist, slab down to new footers with #5 12" rebar dowels @ 24" O.C. exposed into the existing footers with min. emb. of 6" with Simpson Strong-Tie Wedge-Topcon W/min ultimate ten. strength of 80kib.
 - All concrete anchors shall be Simpson Strong-Tie Wedge-Topcon W/min ultimate ten. strength of 80kib.
 - Control joints must include aluminum neoprene or polyurethane sealant per manufacturer's instructions.
 - Sealant shall be applied to all joints and shall be compatible with all applicable epoxy specifications.
 - Fasteners must have min. 1/2" head or be provided with 1/2" dia. washers min.
 - Existing bolts and all other fasteners shall be aluminum, non-magnetic stainless, & hot-dip-galvanized steel/ double cadmium plated steel with coating for corrosion resistance.
 - Bolts and all other fasteners shall be aluminum, non-magnetic stainless, & hot-dip-galvanized steel/ double cadmium plated steel with coating for corrosion resistance.



Allowable Spacing for Horizontal & Gable Beams in Screen Enclosures (ft: in or less)

Wind Zone : 170 mph Exposure "C" Roof Design Pressure : 7.4 psf Wall Design Pressure : 26 psf Beam Deflection less than "Span/80"

Beams	Roof Design Pressure : 7.4 psf				Wall Design Pressure : 26 psf			
	Maximum Wall Height : 10 ft.				Maximum Wall Height : 15 ft.			
2x6 LB	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"	8'-6"
2x6 LB	30'-0"	28'-7"	27'-5"	26'-0"	24'-2"	22'-8"	20'-0"	18'-0"
2x9 LB	35'-6"	33'-2"	31'-4"	30'-8"	28'-3"	27'-0"	26'-0"	25'-0"
2x10 LB	45'-5"	44'-8"	43'-8"	43'-2"	42'-7"	41'-5"	40'-0"	39'-0"

Allowable Spacing for Flat Beams in Screen Enclosures

Wind Zone : 170 mph Exposure "C" Roof Design Pressure : 7.4 psf Wall Design Pressure : 26 psf Beam Deflection less than "Span/80"

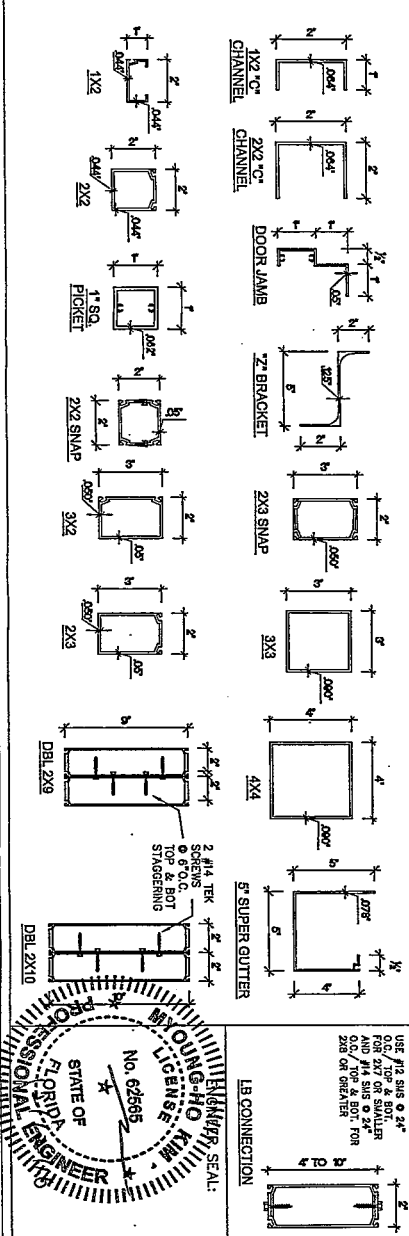
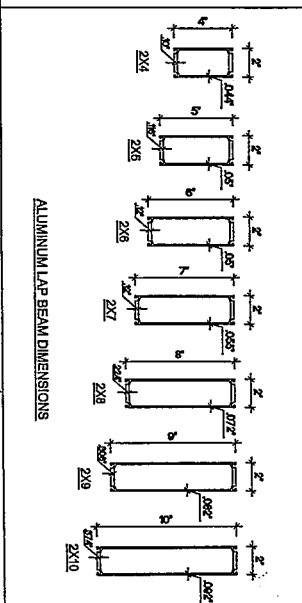
Beams	Roof Design Pressure : 7.4 psf				Wall Design Pressure : 26 psf			
	Maximum Wall Height : 10 ft.				Maximum Wall Height : 15 ft.			
2x6 LB	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"	8'-6"
2x6 LB	12'-0"	11'-6"	11'-5"	11'-0"	10'-9"	10'-5"	10'-1"	9'-8"
2x6 LB	14'-9"	14'-5"	14-3"	13'-9"	13'-8"	12'-9"	12'-5"	11'-3"
2x7 LB	17'-4"	16'-6"	16'-4"	15'-1"	14'-9"	13'-11"	13'-0"	11'-8"
2x8 LB	28'-9"	25'-4"	24'-6"	23'-5"	22'-8"	21'-2"	20'-1"	19'-6"
2x9 LB	35'-8"	33'-8"	32'-11"	32'-0"	30'-5"	28'-1"	27'-5"	26'-6"
2x10 LB	39'-8"	38'-8"	38'-8"	34'-8"	33'-0"	32'-3"	31'-2"	30'-11"

Allowable Spacing for Primary Members in Screen Walls (Post/Column)

Wind Zone : 170 mph Exposure C Wall Design Pressure = 26 PSF Beam deflection less than "Span/80"

Beams	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2x5 LB	9'-6"	9'-3"	8'-10"	8'-5"	8'-0"	7'-6"	7'-0"
2x6 LB	10'-6"	10'-3"	10'-0"	9'-6"	9'-0"	8'-6"	8'-1-4"
2x7 LB	11'-8"	11'-4"	11'-0"	10'-9"	10'-6"	10'-3"	10'-0"
2x8 LB	18'-6"	17'-6"	17'-2"	16'-8"	16'-0"	15'-7"	15'-3"
2x9 LB	23'-0"	22'-4"	21'-0"	20'-1"	19'-6"	18'-6"	18'-1"
2x10 LB	28'-6"	26'-4"	25'-8"	24'-2"	23'-6"	22'-9"	22'-0"

Note: When roof span exceeds 35ft, min. 2x8 columns shall be used.



MYOUNG - HO KIM P.E.
 2653 BACCARAT DR.
 COOPER CITY, FL 33026
 P.E. # 62565 TEL: (954) 559-7247

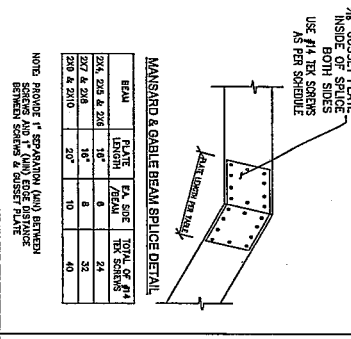
SCREEN ENCLOSURES
 F. B. C. 2014 ASCE 7-10 170 MPH EXPOSURE "C" CATEGORY I

APPROVED BY
 MH
 DATE
 1-10-2016

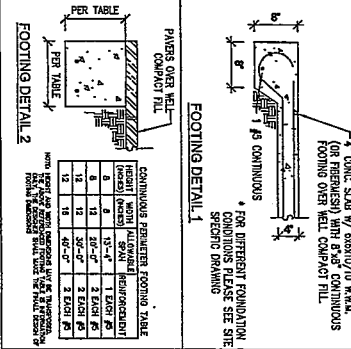
REVISIONS BY

SHEET
1/2

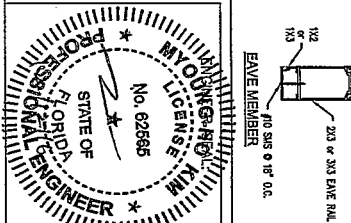
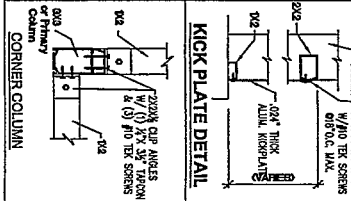
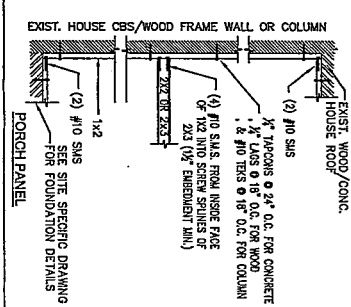
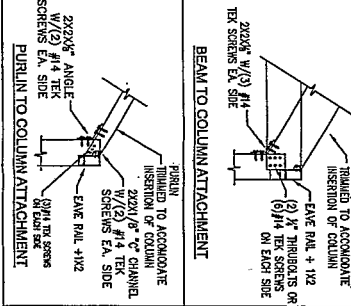
MANSARD BEAM SPLICE



FOUNDATION DETAILS

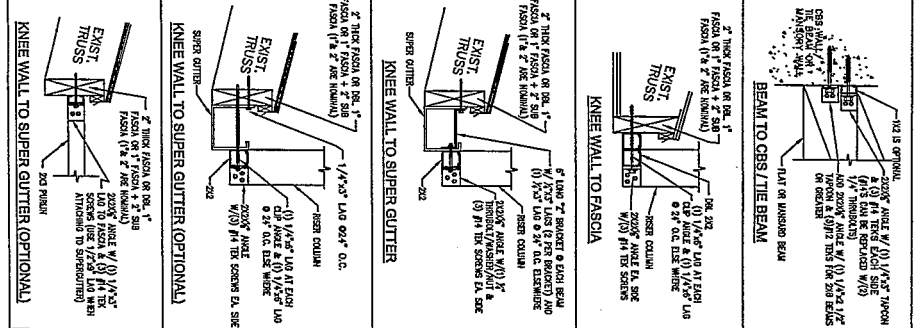
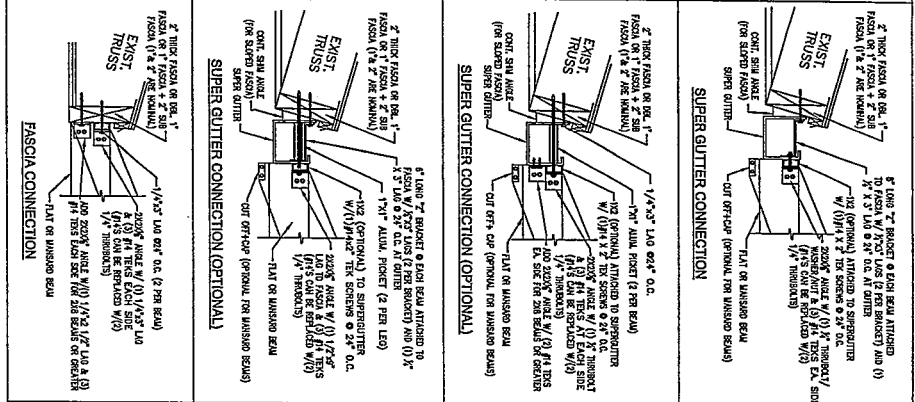


TYPICAL DETAILS

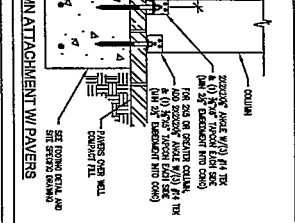
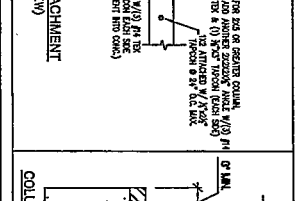
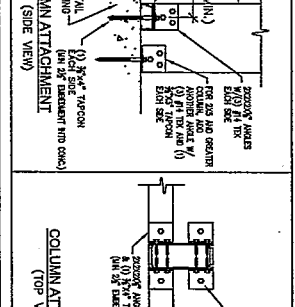
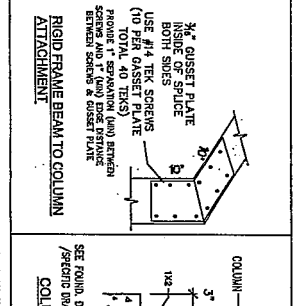


MYOUNG - HO KIM P.E. # 62565
2653 BACCARAT DR.
COOPER CITY, FL 33026
TEL: (954) 559-7247

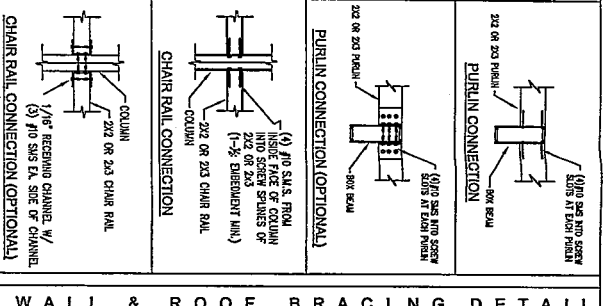
SCREEN ENCLOSURE TO HOST STRUCTURE



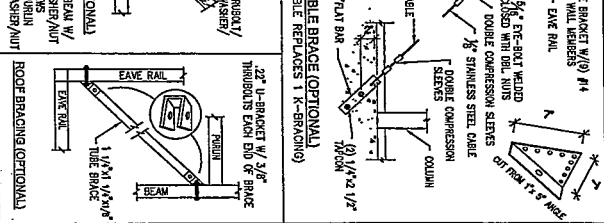
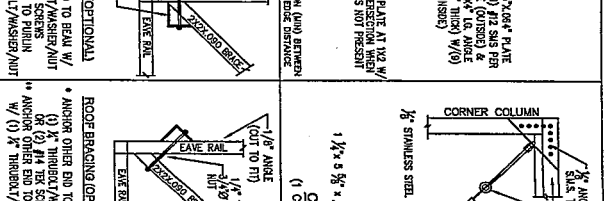
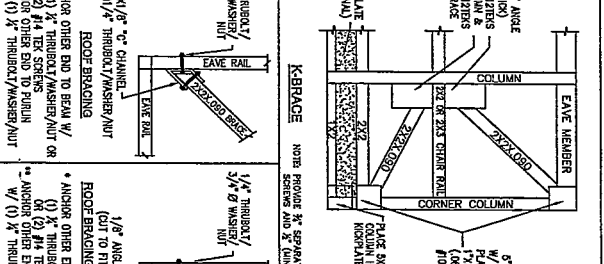
COL. ANCHORING



PURLIN & CHAIR RAIL DETAIL



WALL & ROOF BRACING DETAIL

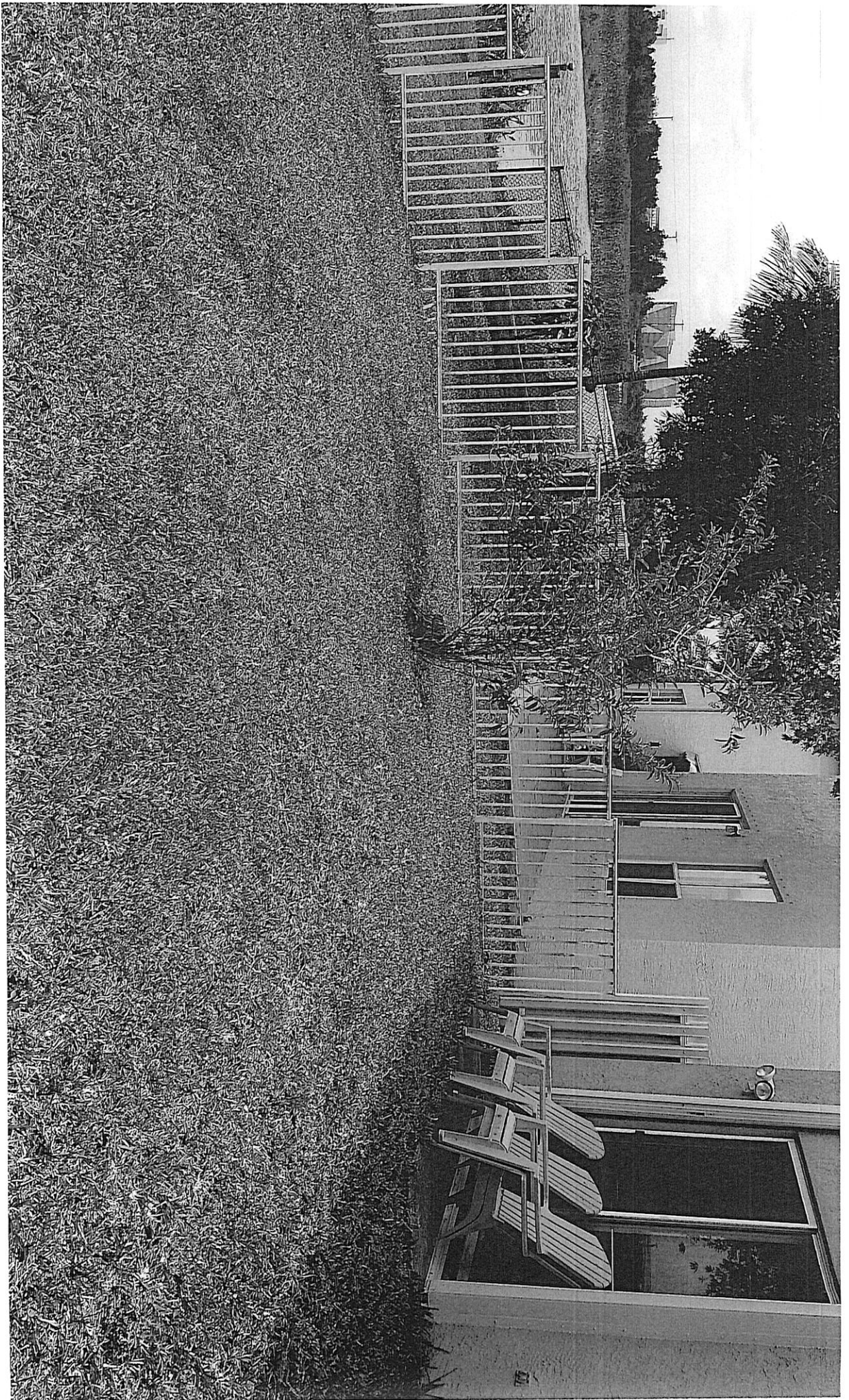


SCREEN ENCLOSURES
F. B. C. 2014 ASCE 7-10 170 MPH EXPOSURE 'C' CATEGORY I

APPROVED BY: MH
DATE: 1-10-2016

REVISIONS BY

SHEET 2/2



****MEMORANDUM****

DATE: April 20, 2017

TO: South Broward Drainage District Commissioners

FROM: Kevin M. Hart, P.E.
District Director

Subject: Presentation by the U.S. Army Corps of Engineers on the Broward County Water Preserve Area Project

Comments:

Representatives of the U.S. Army Corps of Engineers (USCOE) will be present at the South Broward Drainage District (SBDD) April Board meeting to update the Board of Commissioners on the Broward County Water Preserve Area project. The main purpose of the presentation will be to provide an overview of the modeling efforts for the C-11 impoundment area.

Representatives of the South Florida Water Management District (SFWMD) will also be present to assist the USCOE in answering any questions from the Board.

KH
Attachments

Broward County Water Preserve Areas Project

C-11 Impoundment Modeling

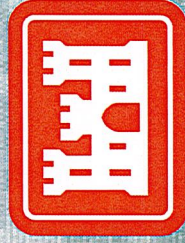
Christyn Wiederhold

U.S. Army Corps of Engineers

Jacksonville District

April 27, 2017

*Team of Professionals
Making Tomorrow Better*



US Army Corps of Engineers
BUILDING STRONG®





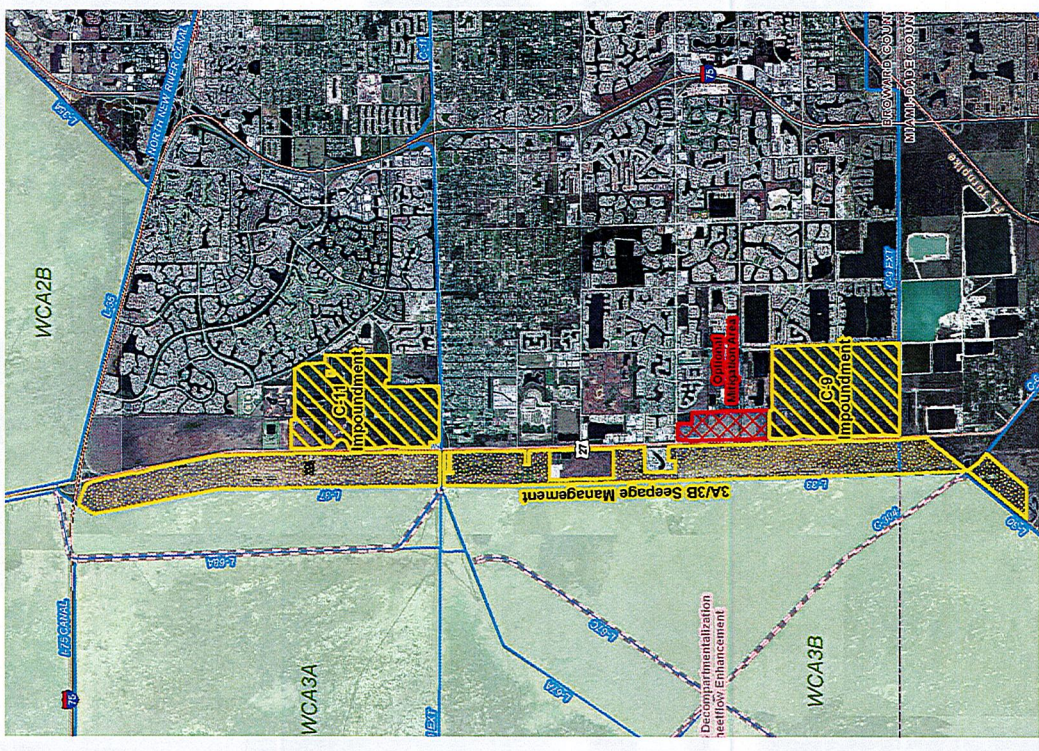
U.S. ARMY

MODELING OVERVIEW



BUILDING STRONG

- Modeling ongoing for C-11 Impoundment
- C-11 Impoundment is the main drainage system for South Broward Drainage District
 - Regional vs. Project level resolution ongoing
 - Modeling will provide important data to address water levels and potential drainage/flooding concerns.
- Lower East Coast Subregional (LECsR) Model is not a storm event model



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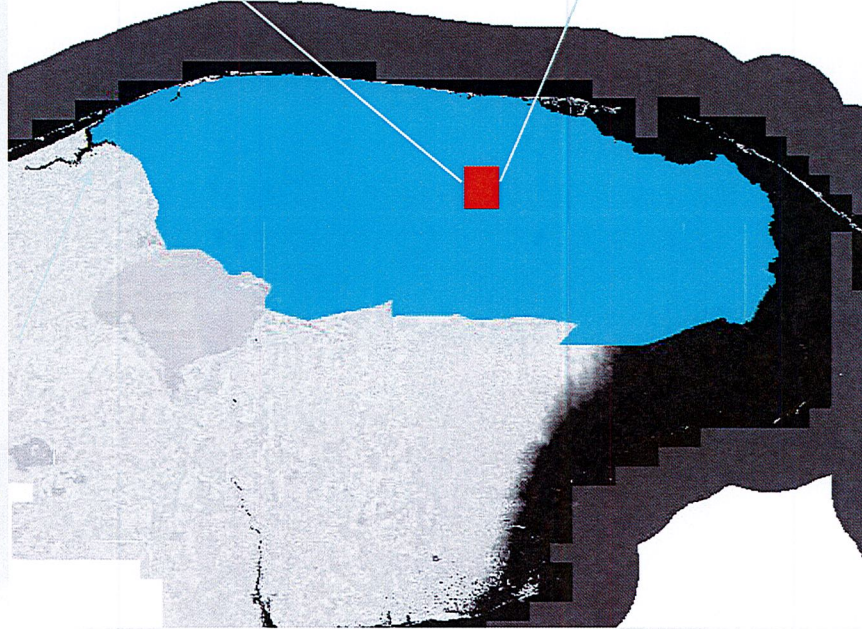
MODELING OVERVIEW



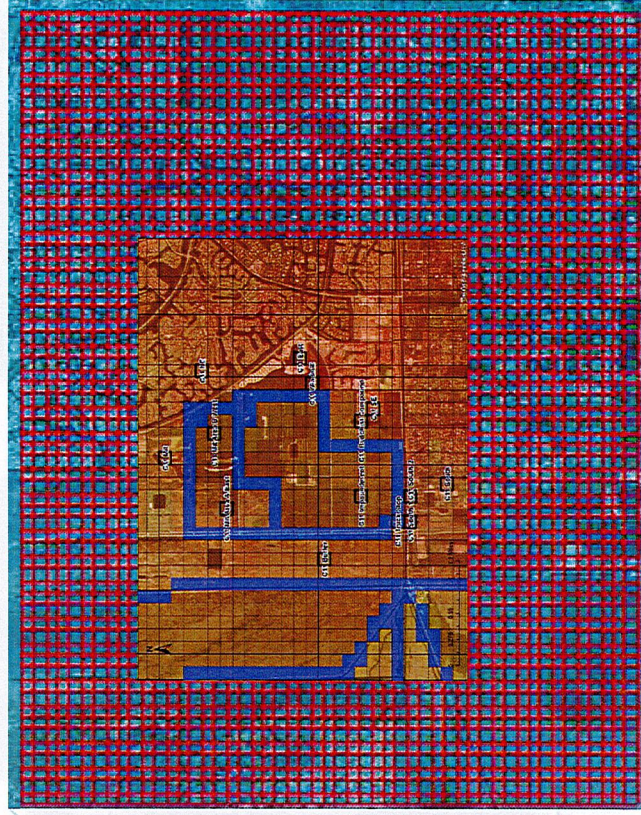
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Regional vs. Local Scale Modeling

LECsR Model Domain



C-11 Impoundment Vicinity



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MODELING OVERVIEW



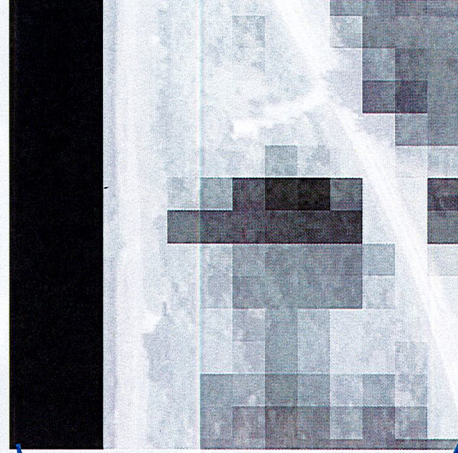
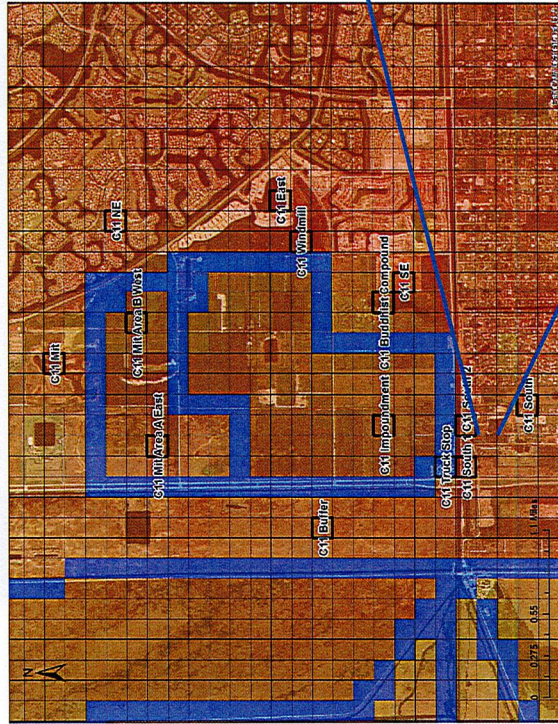
BUILDING STRONG

Input Data at the Cell Level

SFWMD DEM use in Regional Models

LECsR Model	SFWMD DEM Range	Representative w/o roads/levee features
5.76 feet	3.54 – 5.06 feet	4.20 feet

Cell value is an average of **everything**, including features, i.e., roads, levees, etc.




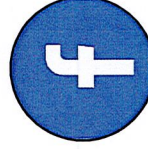


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STAY INFORMED!



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	www.saj.usace.army.mil
	www.facebook.com/JacksonvilleDistrict
	www.youtube.com/JaxStrong
	www.twitter.com/JaxStrong
	www.flickr.com/photos/jaxstrong



Broward County Water Preserve Areas Project Information:

http://bit.ly/Broward_County_WPA

Team of Professionals Making Tomorrow Better

MEMORANDUM

DATE: April 20, 2017
TO: South Broward Drainage District Commissioners
FROM: Kevin M. Hart, P.E.
District Director
Subject: Request to Vacate a Portion of a Drainage Easement in the “Country Lakes NW
Quadrant” Plat

Comments:

South Broward Drainage District (SBDD) received a request to vacate a portion of a Drainage Easement (Easement) located within the Miramar Centre Business Park – Building B development. The Easement was previously dedicated by separate instrument under OR Book 26332, Page 0651, BCR. The property is owned by Sherm Realty Corporation.

Attached to this memo is the sketch & legal description of the Easement area to be vacated, along with the original easement dedication.

The Easement area requested to be vacated is no longer needed as the original lake area serving the development was previously modified. In addition, other portions of the Easement were previously vacated by SBDD.

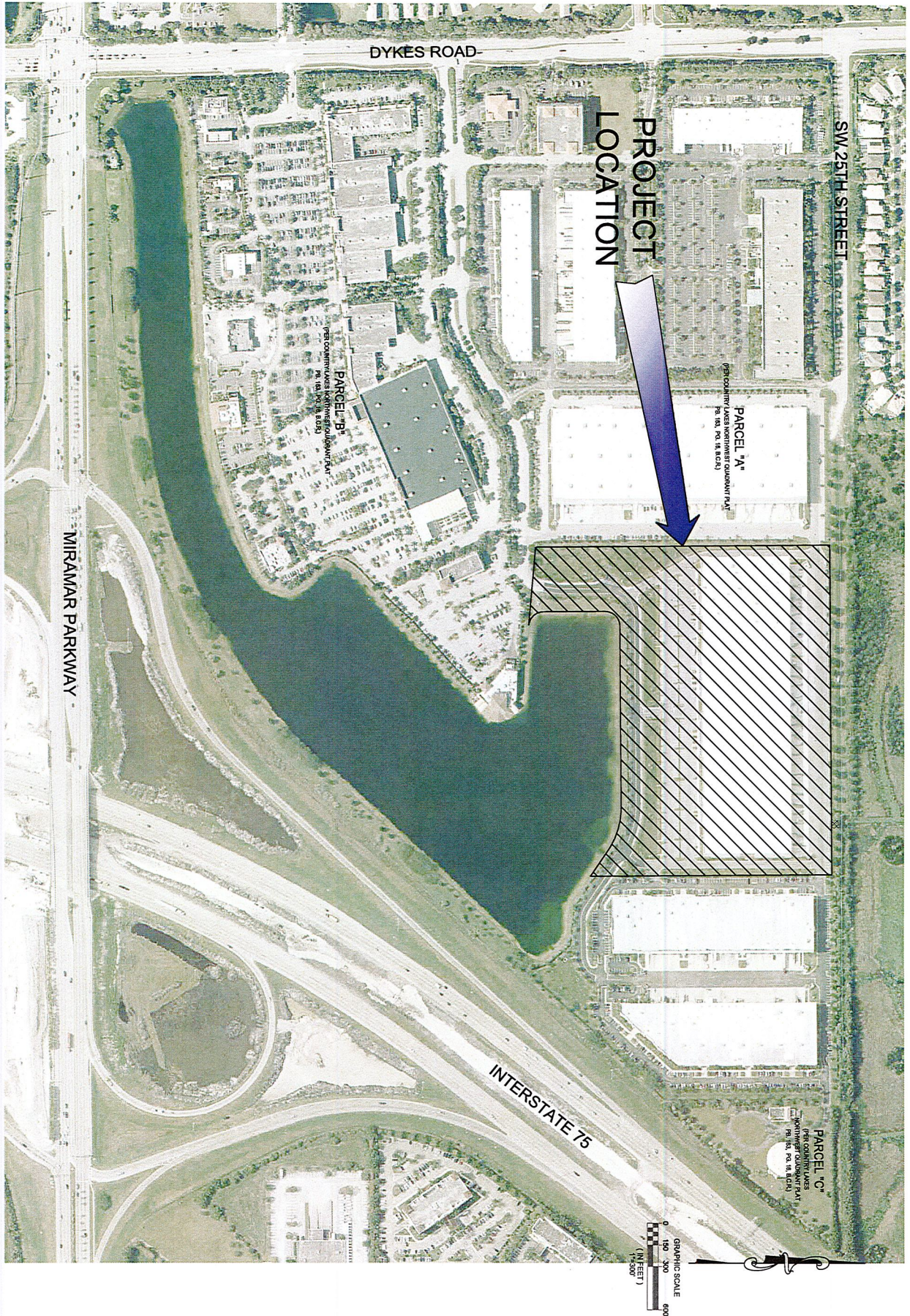
An overall Exhibit showing the vacated easement area and the easement areas that will remain in place is attached. The property owner will also be dedicating new easements as part of this request, which is depicted on the same Exhibit.

Due to the language in the original easement dedication, this will be a joint release with the City of Miramar, and SBDD staff has no objection to this vacation request.

Financial impacts to this Agenda Item: none, other than SBDD administrative costs; all other costs will be incurred by the property owner.

The request is for approval of SBDD to vacate and release its interest in the property described in the attached Exhibit “B” of the Unconditional Release and Vacation of a Portion of Easement No. 2 (Country Lakes Northwest Quadrant), said property being a portion of Parcel ‘A’, “Country Lakes Northwest Plat”, according to the Plat thereof as recorded in Plat Book 163, Pages 16, B.C.R. and also being a portion of the easement previously recorded in ORB 26332 Pg 0651, B.C.R.

KH
Attachments



Prepared by and return to:
Benjamin Hedrick, Esq.
Akerman LLP
98 SE 7th Street, Suite 1100
Miami, FL 33131

Folio No. 5140-28-11-0010

**UNCONDITIONAL RELEASE AND VACATION OF A PORTION OF DRAINAGE
EASEMENT NO. 2 (COUNTRY LAKES NORTHWEST QUADRANT)**

This **UNCONDITIONAL RELEASE AND VACATION OF A PORTION OF DRAINAGE EASEMENT NO. 2 (COUNTRY LAKES NORTHWEST QUADRANT)** (this "**Release**") is made and granted as of _____, 2017, by (i) South Broward Drainage District, a political subdivision of the State of Florida ("**SBDD**"), having an address at 6591 SW 160th Avenue, Southwest Ranches, FL 33331; and (ii) City of Miramar, a Florida municipal corporation ("**City**"), having an address at 2300 Civic Center Place, Miramar, FL 33025.

WHEREAS, SBDD and City (on behalf of the public) are the beneficiaries of that certain Drainage Easement No. 2 (Country Lakes Northwest Quadrant), a copy of which is attached at **Exhibit A** and incorporated herein by reference (the "**Drainage Easement**").

WHEREAS, Paragraph 6 of the Drainage Easement provides that the Drainage Easement may be released only in writing executed by both SBDD and City.

WHEREAS, SBDD and City have agreed to a partial unconditional release of the Drainage Easement for the portion of the Drainage Easement area legally described on **Exhibit B** and incorporated herein by reference (the "**Release Area**").

WHEREAS, Grantor (as defined in the Drainage Easement) has also approved this form of Release.

NOW, THEREFORE, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, SBDD and City hereby collectively agree and state as follows:

1. Recitals. The foregoing recitals are true and correct, and are incorporated herein.
2. Unconditional Release. SBDD and City, on behalf of themselves and their successors and assigns, hereby unconditionally and irrevocably release, vacate and remise all of their right, title, interest, claim and demand under, in and to the Release Area under the Drainage Easement.

3. Recordation; Effective Date. This Release shall be recorded in the Public Records of Broward County, and shall become effective immediately upon recordation.

4. Continuation of Drainage Easement. All portions of the Drainage Easement not located within the Release Area shall continue to be subject to the Drainage Easement pursuant to the terms thereof.

5. Enforcement of Release. SBDD and City acknowledge and agree that this Release may be enforced by Grantor (including its successors and assigns) in law or equity (including a suit for specific performance) and in such event, the prevailing party or parties shall be entitled to recover from the non-prevailing party or parties reasonable attorneys' fees and costs (including but not limited to those incurred on appeal).

[Signatures on following pages]

IN WITNESS WHEREOF, the parties hereto have executed and granted this Release as of the date first set forth above.

Signed, sealed and delivered
in the presence of:

SBDD:

South Broward Drainage District, a
political subdivision of the State of Florida

Signature
Print Name: _____

By: _____
Name: Scott Hodges
Title: Chairperson

Signature
Print Name: _____

(DISTRICT SEAL)

ATTEST:

Robert Goggin IV, Secretary

STATE OF FLORIDA
COUNTY OF BROWARD

This instrument was acknowledged before me this _____ day of _____, 2017, by Scott Hodges, as Chairperson of South Broward Drainage District, a political subdivision of the State of Florida, on behalf of the District, who [] is personally known to me OR [] has produced _____ as identification.

NOTARY PUBLIC, STATE OF FLORIDA

(Print, Type or Stamp Commissioned Name of
Notary Public)

Signed, sealed and delivered
in the presence of:

City:

CITY OF MIRAMAR, a Florida municipal
corporation

Signature
Print Name: _____
Address: _____

By: _____
Name: Kathleen Woods-Richardson
Title: City Manager
2300 Civic Center Place
Miramar, FL 33025

Signature
Print Name: _____
Address: _____

(CITY SEAL)

ATTEST:

Denise Gibbs, City Clerk

STATE OF FLORIDA
COUNTY OF BROWARD

This instrument was acknowledged before me this _____ day of _____,
2017, by Kathleen Woods-Richardson, as City Manager of the City of Miramar, a Florida
municipal corporation, on behalf of the City, who [] is personally known to me OR [] has
produced _____ as identification.

NOTARY PUBLIC, STATE OF FLORIDA

(Print, Type or Stamp Commissioned Name of
Notary Public)

EXHIBIT A

Drainage Easement

See attached.

C:\WPFILES\SBD\COUNTRY-LAKES-NW-QUAD.de.wpd

S 0.70
DOCU. STAMPS-DEED

Prepared By and Return To:

RECVD. BROWARD CNTY
B. JACK OSTERHOLT

Douglas R. Bell, Esquire
Cumberland Building - Suite N° 801
800 East Broward Boulevard
Fort Lauderdale, Florida 33301
(954) 524-8528

COUNTY ADMIN.

D1028-03

Folio N° 1028 01 011 & 1028 02 001

**DRAINAGE EASEMENT N° 2
(Country Lakes Northwest Quadrant)**

THIS DRAINAGE EASEMENT is granted this 15 day of April, 1997,
by COUNTRY LAKES, L.P., a Virginia Limited Partnership, whose post office address is
% ATLANTIC GULF COMM., 2601 S. BAYSHORD DR, MIAMI, FL 33131, hereinafter referred
to as "Grantor" to SOUTH BROWARD DRAINAGE DISTRICT, a political subdivision of the
State of Florida, located at 6591 S.W. 160th Avenue, Davie, Florida 33331, hereinafter
referred to as "District" and to the Public.

WITNESSETH:

That the Grantor, for and in consideration of the sum of ten dollars (\$10.00) and
other good and valuable consideration, the receipt whereof is hereby acknowledged, does
hereby grant and convey:

1. To District, its successors and assigns, a perpetual and non-exclusive
drainage easement for the construction and maintenance of drainage facilities, together
with any necessary appurtenances incidental and necessary thereto, over, across and
through the real property described in Exhibit "A" attached hereto and made a part hereof
("Drainage Easement Areas"), together with free ingress and egress across said Drainage
Easement Areas for the purpose of constructing, maintaining and repairing the drainage
system and appurtenances contained therein. The District's rights granted herein shall be
exercised in conjunction with the rights granted to the Public as described below.

2. To the Public, an easement to use the above described Drainage Easement
Areas to provide for the flowage and storage of stormwater from portions of Miramar
Parkway and Dykes Road right-of-way ("the Roadway").

3. The rights granted herein to the Public shall be exercised solely by the
Governmental Entity that has maintenance jurisdiction over the Roadway ("Governmental
Entity").

4. The rights granted herein to the Public are equal to and shall be exercised
in conjunction with the above described rights granted to the District.

5. Although the easement granted herein to the District and the Public is non-
exclusive, should any easements over the same property be granted, subsequent to the
date of this easement, the holder of any such subsequent easement shall be required to
obtain approval from the District and the Governmental Entity for the use of the Drainage
Easement Areas. Such approval by the District and the Governmental Entity shall not be

BK 26332PG0651

(3/18/97)

unreasonably withheld, denied, conditioned or delayed.

6. The rights granted to the District or the Public may be released or modified by a written, recordable release or modification approved by the Grantor executed by the District and on behalf of the Public, by the Governmental Entity.

7. Grantor acknowledges that until accepted by the District for maintenance Grantor and Grantors successors and assigns shall be responsible for construction and maintenance of all drainage facilities constructed within The Drainage Easement Areas and that District and the Governmental Entity shall have the right but not the obligation to maintain said drainage facilities.

8. Grantor further acknowledges that except for lake interconnects and the District's primary drainage system (Dykes Road Canal, lakes, lake interconnects and the S-3 Basin connection) in the event the District or the Governmental Entity incur any expenses in maintaining the drainage facilities within the Drainage Easement Areas, that Grantor and Grantors successors and assigns shall reimburse District and Governmental Entity for said expenses including attorney's fees and costs to collect said expenses.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its proper officers and its corporate seal to be affixed, attested by its secretary, the day and year above written.

Signed, sealed and delivered in the presence of:

"Grantor"
COUNTRY LAKES, L.P., a Virginia
Limited Partnership

By: SANDLER AT COUNTRY LAKES,
INC., a Virginia Corporation, its
general partner

By: 
Steven Sandler, President


Witness Signature 1

Ilona Mathison
Witness Printed Name 1


Witness Signature 1

P. Sotharis
Witness Printed Name 1

Virginia
STATE OF FLORIDA }
Vt Beach }
COUNTY OF BROWARD } S

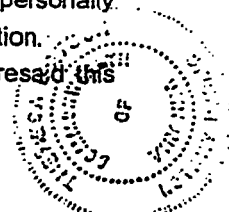
The foregoing Drainage Easement N° 2 (Country Lakes Northwest Quadrant) was acknowledged before me this 15 day of April, 1997 by Steven Sandler as President of Sandler at Country Lakes, Inc., a Virginia Corporation, general partner of Country Lakes, L.P., a Virginia Limited Partnership as Grantor who is personally known to me or has produced _____ as identification.

Witness my hand and official seal in the county and state last aforesaid this 15 day of April, 1997.

[NOTARY SEAL AND STAMP]



NOTARY PUBLIC:
Conservation of Energy Public Seal
My Commission Expires April 31, 2000
THERESA WATSON
PRINTED OR STAMPED NAME OF NOTARY



BK 26332PG0652

**SKETCH OF A DRAINAGE EASEMENT
TO SERVE COUNTRY LAKES NORTHWEST QUADRANT PROPERTY**

DESCRIPTION

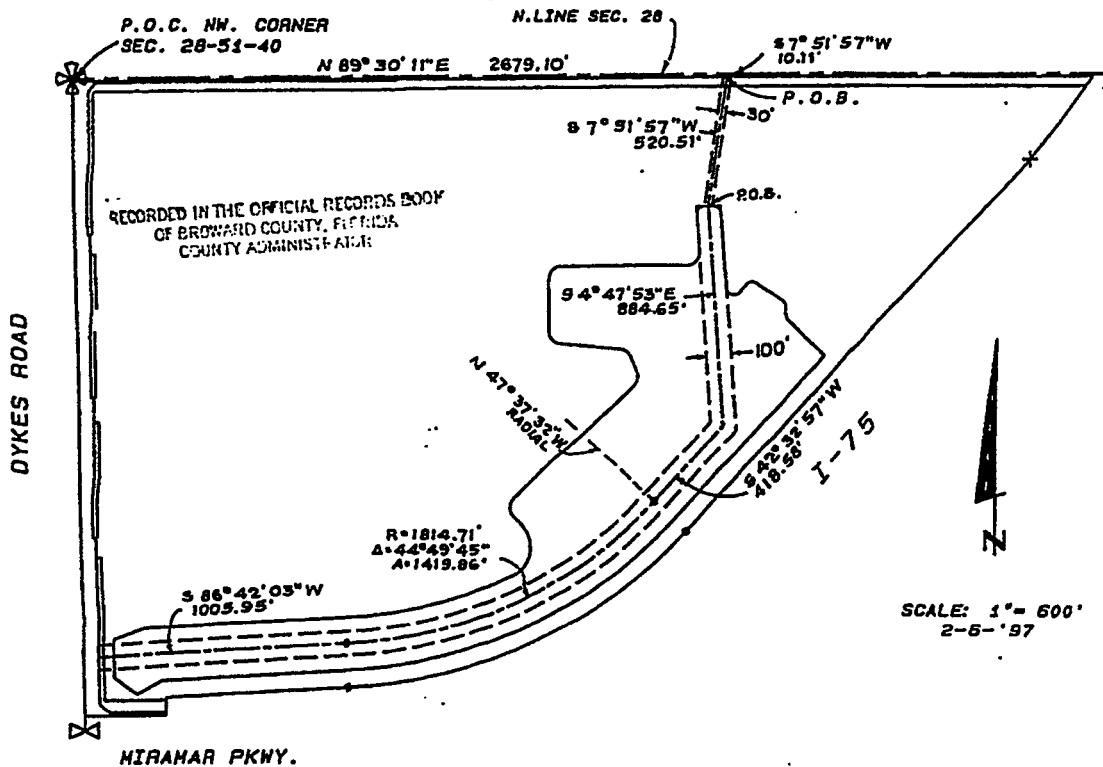
That portion of Parcel A, COUNTRY LAKES NORTHWEST QUADRANT PLAT (UNRECORDED), being a parcel of land in the Northwest 1/4 of Section 28, Township 51 South, Range 40 East, said parcel including a portion of the CHAMBERS LAND COMPANY SUBDIVISION of said Section 28, as recorded in Plat Book 2 at Page 27 of the Public Records of Dade County, Florida and being more particularly described as follows:

Commencing at the Northwest corner of said Section 28; thence run North 89°30'11" East (on a grid bearing) 2679.10 feet along the North boundary of said Section 28; thence run South 07°51'57" West 10.11 feet to the Point of Beginning of a strip of land 30 feet in width, lying 15 feet on each side of the following described centerline; thence continue South 07°51'57" West 520.51 feet to the terminus of said centerline and the Point of Beginning of a strip of land 100 feet in width, lying 50 feet on each side of the following described centerline; thence run South 04°47'53" East 884.65 feet; thence run South 42°32'57" West 418.58 feet to a point of intersection with the arc of a curve running Southwesterly to the right, a radial at said point bearing North 47°37'32" West; thence along the arc of said curve to the right, having a radius of 1814.71 feet and a central angle of 44°49'45", run Southwesterly 1419.86 feet; thence run South 86°42'03" West 1005.95 feet along a line not tangent to the last described curve to the terminus of said centerline.

Said lands situate in the City of Miramar, Broward County, Florida.

C.C. WINNINGHAM CORPORATION - LB # 46
1040 NORTH EAST 45TH STREET
OAKLAND PARK, FLORIDA 33334

BY: Charlie C. Winningham II
Charlie C. Winningham II - PSM # 580



BK 26332PG0653

P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING

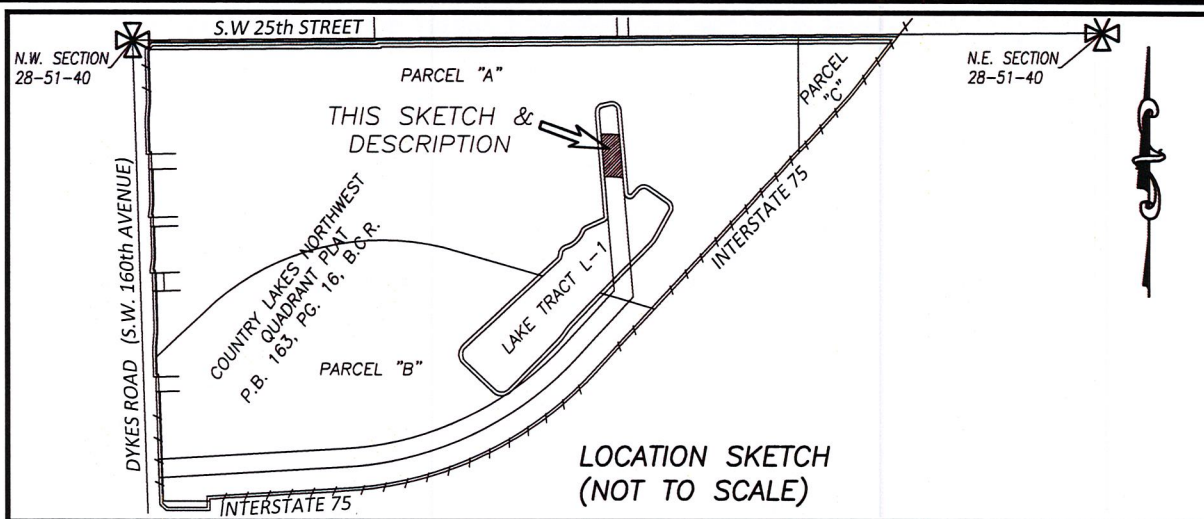
EXHIBIT "A"

42679

EXHIBIT B

Release Area

[Include sketch and legal of release area]



LEGAL DESCRIPTION:

A PORTION OF LAKE TRACT L-1, COUNTRY LAKES NORTHWEST QUADRANT PLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 163, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF THAT CERTAIN DRAINAGE EASEMENT No. 2 RECORDED IN OFFICIAL RECORDS BOOK 26332, PAGE 651 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 51 SOUTH, RANGE 40 EAST; THENCE NORTH 89°30'11" EAST, ALONG THE NORTH LINE OF SAID SECTION 28, 2657.33 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00°29'47" EAST, 44.98 FEET TO A POINT ON THE WESTERLY LINE OF THAT CERTAIN VACATED DRAINAGE EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 49902, PAGE 1072 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 07°51'57" WEST, ALONG SAID WESTERLY LINE, 485.14 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING, ALONG SAID WESTERLY LINE, SOUTH 07°51'57" WEST, 0.52 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID VACATED DRAINAGE EASEMENT; THENCE NORTH 89°30'12" EAST, ALONG SAID SOUTHERLY LINE, 30.32 FEET TO THE SOUTHEAST CORNER OF SAID VACATED DRAINAGE EASEMENT;; THENCE, DEPARTING SAID SOUTHERLY LINE, SOUTH 07°51'57" WEST, 0.56 FEET TO A POINT ON THE NORTHERLY LINE OF SAID DRAINAGE EASEMENT No. 2; THENCE SOUTH 88°27'58" EAST, ALONG SAID NORTHERLY LINE, 35.22 FEET TO A POINT ON THE EASTERLY LINE OF SAID DRAINAGE EASEMENT No. 2; THENCE SOUTH 04°47'53" EAST, ALONG SAID EASTERLY LINE, 242.41 FEET TO A POINT ON A NON-TANGENT CURVE (THROUGH WHICH A RADIAL LINE BEARS SOUTH 12°12'40" WEST TO THE RADIUS POINT) TO THE LEFT AND CONCAVE TO THE SOUTHWEST; THENCE, THENCE DEPARTING SAID EASTERLY LINE, SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 255.00 FEET, A CENTRAL ANGLE OF 12°42'28" AND AN ARC DISTANCE OF 56.56 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°30'12" WEST, 44.66 FEET TO A POINT ON THE WESTERLY LINE OF SAID DRAINAGE EASEMENT No. 2; THENCE NORTH 04°47'53" WEST, ALONG SAID WESTERLY LINE, 239.72 FEET TO A POINT ON THE NORTHERLY LINE OF SAID DRAINAGE EASEMENT No. 2; THENCE SOUTH 88°27'58" EAST, ALONG SAID NORTHERLY LINE, 35.21 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE AND BEING IN THE CITY OF MIRAMAR, BROWARD COUNTY FLORIDA AND CONTAINING 23,909 SQUARE FEET (0.549 ACRES) MORE OR LESS.

SURVEY NOTES:

1. CALVIN, GIORDANO & ASSOCIATES. DID NOT RESEARCH TITLE FOR THIS PROPERTY. THE PLATS, RIGHTS-OF-WAY, AND EASEMENTS AS SHOWN HEREON ARE PER THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AS FOUND ON THE BROWARD COUNTY PROPERTY APPRAISER'S AND CLERK OF THE COURT'S WEB SITES.
2. THIS SKETCH AND DESCRIPTION IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL SURVEYOR & MAPPER.
3. BEARINGS SHOWN HEREON ARE REFERENCED TO THE COUNTRY LAKES NORTHWEST QUADRANT PLAT, PLAT BOOK 163, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, WITH A BEARING OF NORTH 89°30'11" EAST ALONG THE NORTH LINE OF PARCEL "A".
4. THIS SKETCH AND DESCRIPTION DOES NOT CONSTITUTE A BOUNDARY SURVEY.
5. IT IS A VIOLATION OF THE STANDARDS OF PRACTICE, RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SKETCH AND DESCRIPTION WILL RENDER IT INVALID.

I, MICHAEL M. MOSSEY, DO HEREBY STATE THAT THIS SKETCH AND DESCRIPTION WAS DONE UNDER MY DIRECT SUPERVISION AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER STATE THAT THIS SKETCH AND DESCRIPTION WAS COMPLETED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING AS STATED IN RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FLORIDA STATUTES CHAPTER 472.027.

DATED: APRIL 5, 2017

CALVIN, GIORDANO & ASSOCIATES, INC.

SIGNATURE _____

MICHAEL M. MOSSEY
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 5660



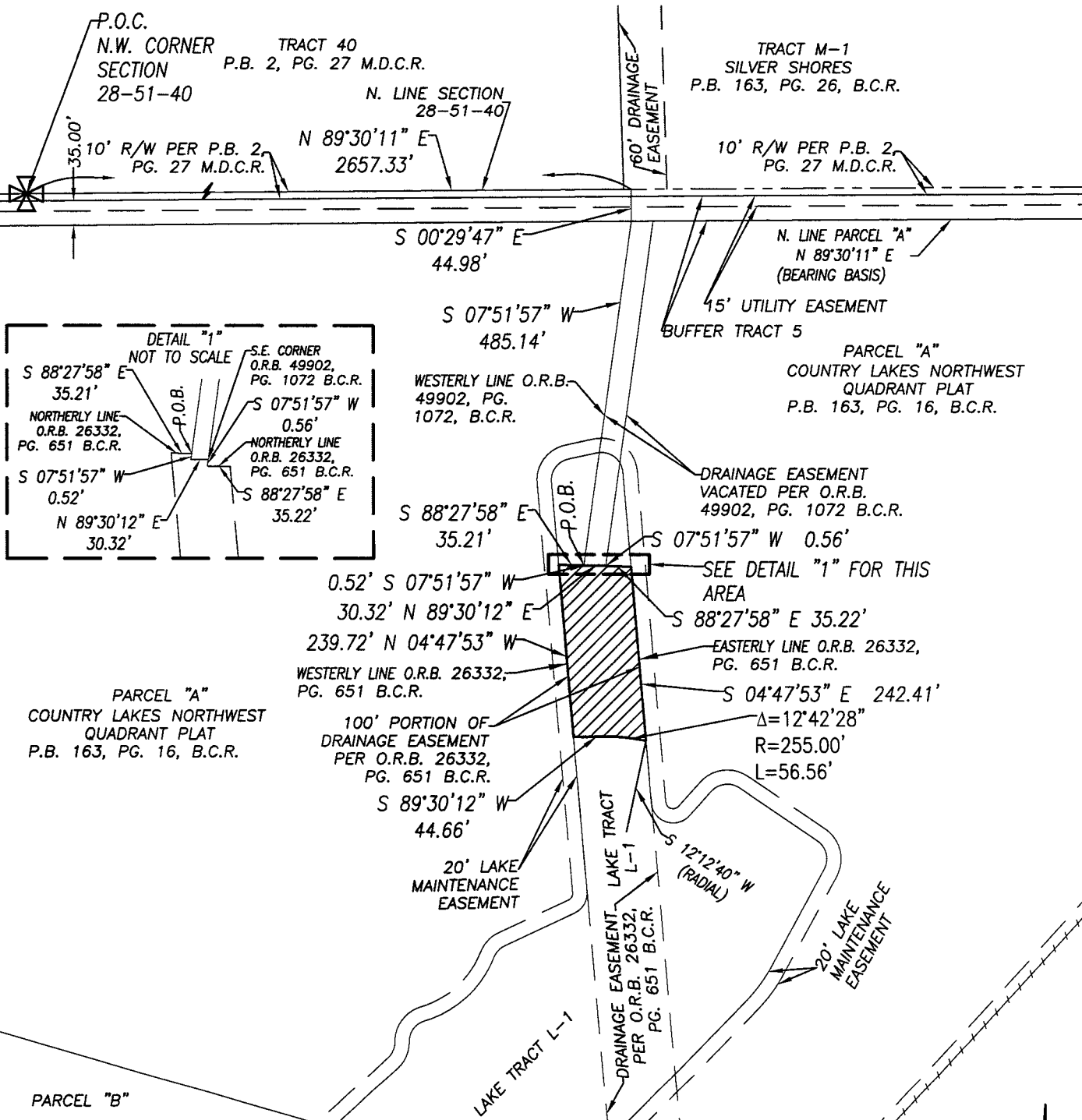
Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS™
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 • Fax: 954.921.8807

Certificate of Authorization 8791

**VACATION OF A PORTION OF A
100-FOOT DRAINAGE EASEMENT**
MIRAMAR 15501 IDI BUILDING
CITY OF MIRAMAR, BROWARD COUNTY, FLORIDA

SCALE 1"=200'	PROJECT No. 168921.3	SHEET 1 2
DATE 04/05/2017	CAD FILE	

F:\Projects\2016\168921 Miramar 15501 IDI Building\Survey\Legal Descriptions\168921-SD-DE-VACATION.dwg



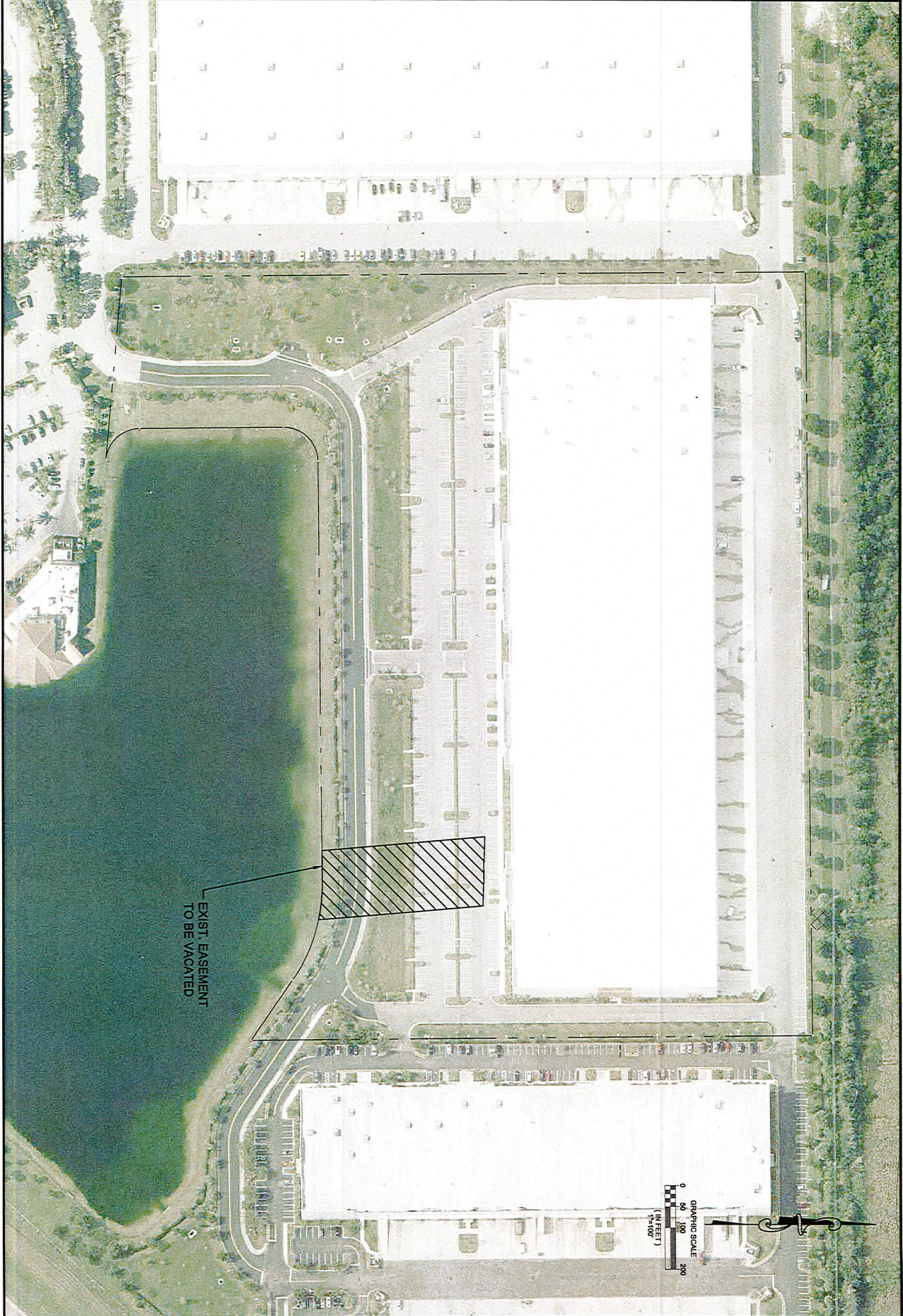
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Calvin, Giordano & Associates, Inc.
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 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954.921.7781 • Fax: 954.921.8807
 Certificate of Authorization 6791

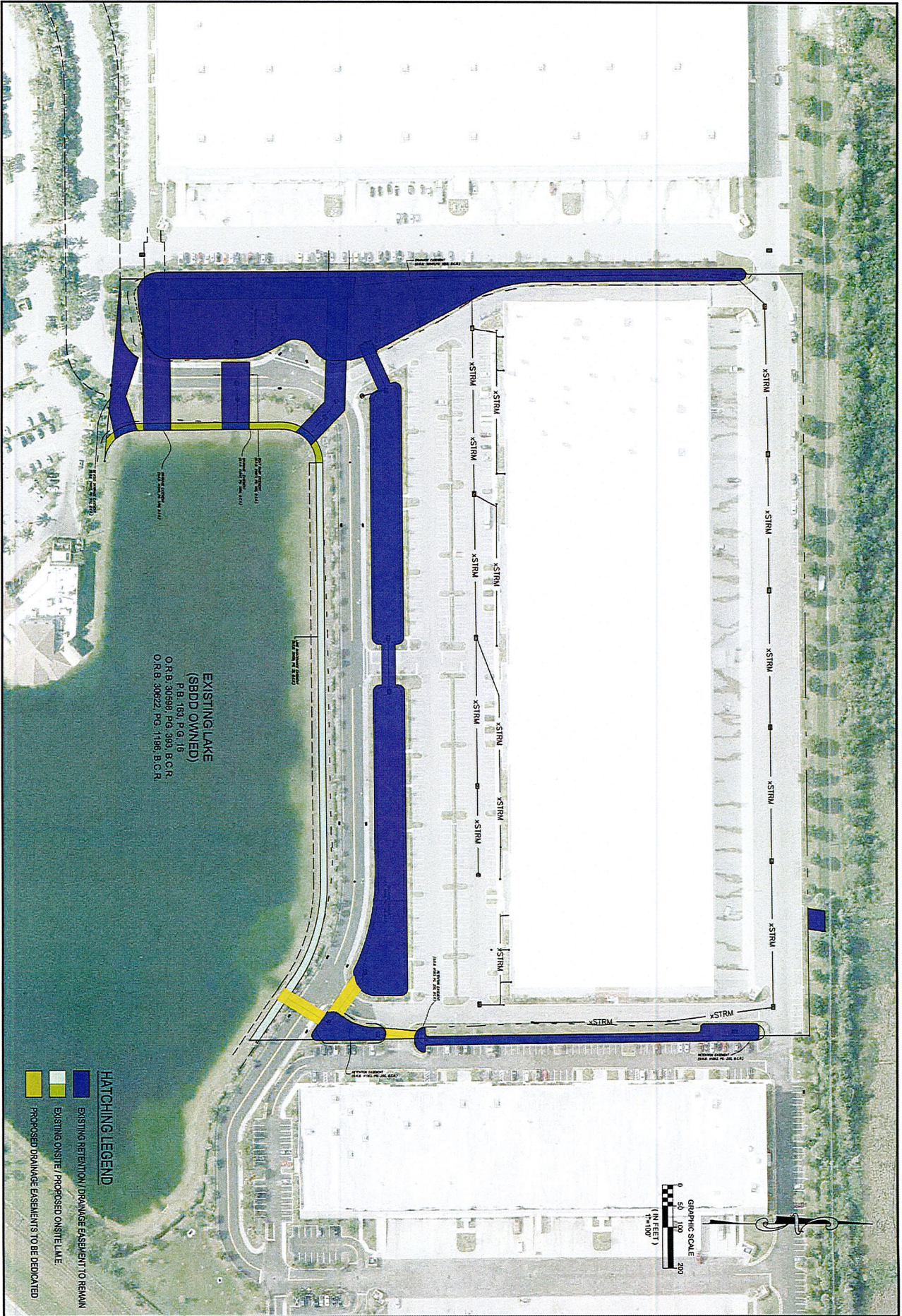
**VACATION OF A PORTION OF A
 100-FOOT DRAINAGE EASEMENT**
MIRAMAR 15501 IDI BUILDING
CITY OF MIRAMAR, BROWARD COUNTY, FLORIDA

SCALE 1"=200'	PROJECT No. 168921.3	SHEET 2
DATE 04/05/2017	CAD FILE	



EXIST. EASEMENT
TO BE VACATED

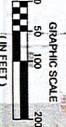
0
50
100
200
GRAPHIC SCALE
(IN FEET)



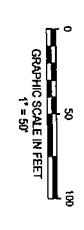
EXISTING LAKE
(SBDD OWNED)
P.B. 1181 P.G. 16
O.R.B. 30688 P.G. 389 B.C.R.
O.R.B. 30622 P.G. 1185 B.C.R.

HATCHING LEGEND

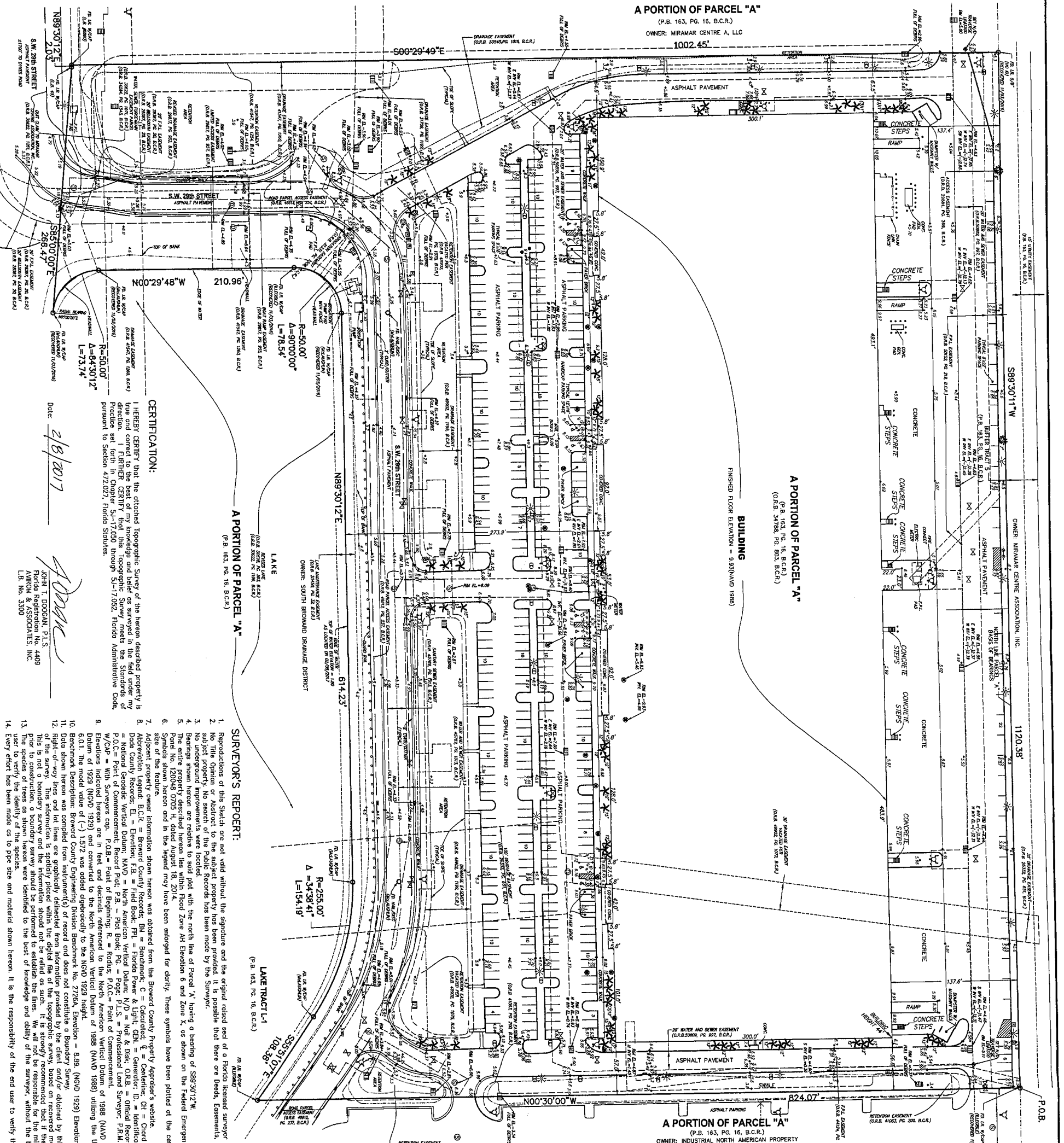
- EXISTING RETENTION / DRAINAGE EASEMENT TO REMAIN
- EXISTING ON-SITE / PROPOSED ON-SITE LAKE
- PROPOSED DRAINAGE EASEMENTS TO BE DEDICATED



ELEVATIONS SHOWN ARE NAVD 1988



A PORTION OF PARCEL "A"
(P.B. 163, PG. 16, B.C.R.)
OWNER: MIRAMAR CENTRE A, LLC



A PORTION OF PARCEL "A"
(P.B. 163, PG. 16, B.C.R.)
OWNER: MIRAMAR CENTRE ASSOCIATION, INC.

BUILDING
FINISHED FLOOR ELEVATION = 9.92(NAVD 1988)

A PORTION OF PARCEL "A"
(P.B. 163, PG. 16, B.C.R.)
OWNER: SOUTH BROWARD DRAINAGE DISTRICT

A PORTION OF PARCEL "A"
(P.B. 163, PG. 16, B.C.R.)
OWNER: INDUSTRIAL NORTH AMERICAN PROPERTY

CERTIFICATION:
I HEREBY CERTIFY that the attached Topographic Survey of the herein described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Topographic Survey meets the Standards of Practice set forth in Chapter 51-17.050 through 51-17.052, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date: 2/8/2017

JOHN I. DODDAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300

SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original red seal of a Florida licensed surveyor and mapmaker.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Unrecorded Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. No underground pipes or conduits are shown on this plan.
4. The entire property described herein lies within Flood Zone AH Elevation 6 and Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, Community Panel No. 120048 0705 H, dated August 18, 2014.
5. Symbols shown hereon and in the legend may have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
6. Adjoined property owner information shown hereon was obtained from the Broward County Property Appraiser's website.
7. Abbreviation Legend: C.R. = Broward County Records; B.R. = Broward County Records; B.P. = Benchmark Power & Light; G.M. = Contour; CH = Chord Length; CON. = Concrete; A = Data Angle; () = Duct; D.C.R. = Deed; D.C.R. = Deed County Records; E.L. = Elevation; N.A. = North American Vertical Datum; N/D = Not a Duct; O.B. = Official Records Book; O.W. = Overhead Wires; P. = Per P.O.B.; P.O.B. = Point of Beginning; P.O.D. = Point of Commencement; P.O.D. = Point of Commencement; Record Plat; P.A. = Plat Book; P.C. = Page; P.L.S. = Professional Land Surveyor; P.L.M. = Permanent Reference Monument; R. = Radius; S.F. = Square Feet; W/O/P = With Surveyor's Copy; P.O.B. = Point of Beginning; R. = Radius; P.O.C. = Point of Commencement.
8. Elevation indicated hereon are in feet and decimals referenced to the North American Vertical Datum of 1988 (NAVD 1988) utilizing the U.S. Army Corps of Engineers Program for Windows, Version Datum of 1929 (NAVD 1929) and converted to the North American Vertical Datum of 1988 (NAVD 1988). Elevation = 8.89 (NAVD 1929) Elevation = 7.32 (NAVD 1988).
9. Benchmark Description: Broward County Engineering Division Benchmark No. 2726A, Elevation = 8.89 (NAVD 1929) Elevation = 7.32 (NAVD 1988).
10. Data shown hereon was compiled from instrument(s) of record and does not constitute a Boundary Survey.
11. Right-of-way lines and lot lines are graphically delineated from information provided by the client and/or obtained by this firm from recorded plats and/or right-of-way maps, at the time of the survey. This information is graphically delineated from the topographic survey for the purpose of the design of the proposed project and is not intended to establish the actual boundaries of the property. The Surveyor is not responsible for the misuse of the topographic survey for purposes other than those intended.
12. Prior to construction, the client is responsible for verifying the location and depth of all existing underground utilities. The Surveyor is not responsible for the location and depth of existing underground utilities.
13. User to verify the identity of the structures.
14. Every effort has been made as to pipe size and material shown hereon. It is the responsibility of the end user to verify the invert and pipe size dimensions prior to design of new facilities.

(3) Record of Easement Agreement Recorded in Official Records Book 34653, Page 1580.

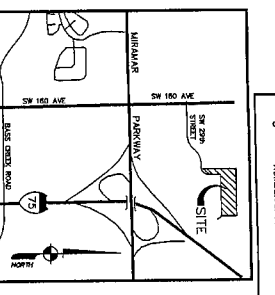
(4) Declaration of Protective Covenants, Agreements, Easements, Charges and Liens for Miramar Center, recorded in Official Records Book 30622, Page 1195, as affected by Official Records Book 30622, Page 1256, and by Official Records Book 35843, Page 527.

(5) Declaration of Covenants and Restrictions of Miramar Centre recorded in Official Records Book 30622, Page 1195, as affected by Official Records Book 30622, Page 1256, and by Official Records Book 35843, Page 527.

LAND DESCRIPTION:

A portion of Parcel "A" and a portion of Parcel "X", hence South 89°30'11" West, on the north line of said Parcel "X", a distance of 782.55 feet, to the Point of Beginning, containing South 89°30'11" West, South 0°29'49" East, a distance of 1002.45 feet, thence North 89°30'12" East, a distance of 2.03 feet, thence South 85°00'00" East, a distance of 268.47 feet to a point of curve, whose radius point bears north on a curve to the right, with a radius of 200.00 feet a central angle of 90°00'00" East, thence a distance of 210.96 feet to a point of tangency, thence north through easterly on said curve to a point of curve, with a radius of 500.00 feet, a central angle of 90°00'00" on arc distance of 78.54 feet to a point of tangency, thence North 89°30'12" East, a distance of 614.23 feet to a point of curve, thence easterly on said curve of 343.94 feet, on arc distance of 154.19 feet to a point of tangency, thence South 55°51'07" East, a distance of 824.07 feet, to the point of Beginning.

LOCATION MAP



LEGEND

Symbol	Description
Circle with dot	CHIRP POINT
Circle with cross	DOUBLE INTERSECTION CHECK VALUE
Circle with 'x'	TRIP POINT
Circle with 'x'	BOUNDARY MONUMENT
Circle with 'x'	CONCRETE LIGHT POLE
Circle with 'x'	WATER VALVE
Circle with 'x'	ELECTRIC SERVICE BOX
Circle with 'x'	RESEARCH ELEVATION
Circle with 'x'	NUMBERS OF PAVEMENT SERVICES

SCALE: 1" = 50'

DATE: 04/04/2013

BY: J.B.

CHECKED: J.T.D.

F.B. 163 PG. 16

SHEET: 1 OF 1

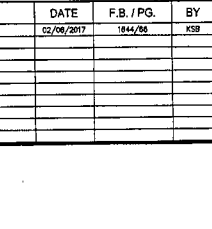
TOPOGRAPHIC SURVEY
PORTION OF
COUNTRY LAKES NORTHWEST QUADRANT PLAT
P.B. 163, PG. 16, B.C.R.
CITY OF MIRAMAR
BROWARD COUNTY, FLORIDA

REVISIONS

NO.	DATE	F.B. / PG.	BY	CKD	REVISIONS
1	01/24/2013		J.B.	J.T.D.	ADDED TOPOGRAPHIC INFORMATION
2	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
3	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
4	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
5	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
6	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
7	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
8	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
9	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
10	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
11	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
12	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
13	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
14	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
15	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
16	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
17	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
18	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
19	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS
20	02/22/2013		J.B.	J.T.D.	REVISED PER COMMENTS

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
TEL. (561) 392-2594 FAX (561) 392-2595
WWW.AVIROMSURVEY.COM

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****MEMORANDUM****

DATE: April 20, 2017

TO: South Broward Drainage District Commissioners

FROM: Kevin M. Hart, P.E.
District Director

Subject: Presentation of Concept Plan for Paradise Cinemark, Town of Davie, Florida.

Comments:

Mr. Paul Lepine, on behalf of Southwest Broward Theaters Holdings, Ltd., will be present at the South Broward Drainage District (SBDD) April Board meeting to present a conceptual redevelopment plan for a portion of the Sheridan Shoppes property (aka: Paradise Cinemark) .

The purpose of the presentation will be to provide the Board with an overview of the proposed redevelopment plan and to obtain feedback and direction from SBDD on the required approvals and land acquisitions. As you will see from the preliminary plans, Southwest Broward Theaters Holdings, Ltd. will need to obtain approval from SBDD to construct a portion of project over existing lake area currently owned by SBDD.

KH
Attachments

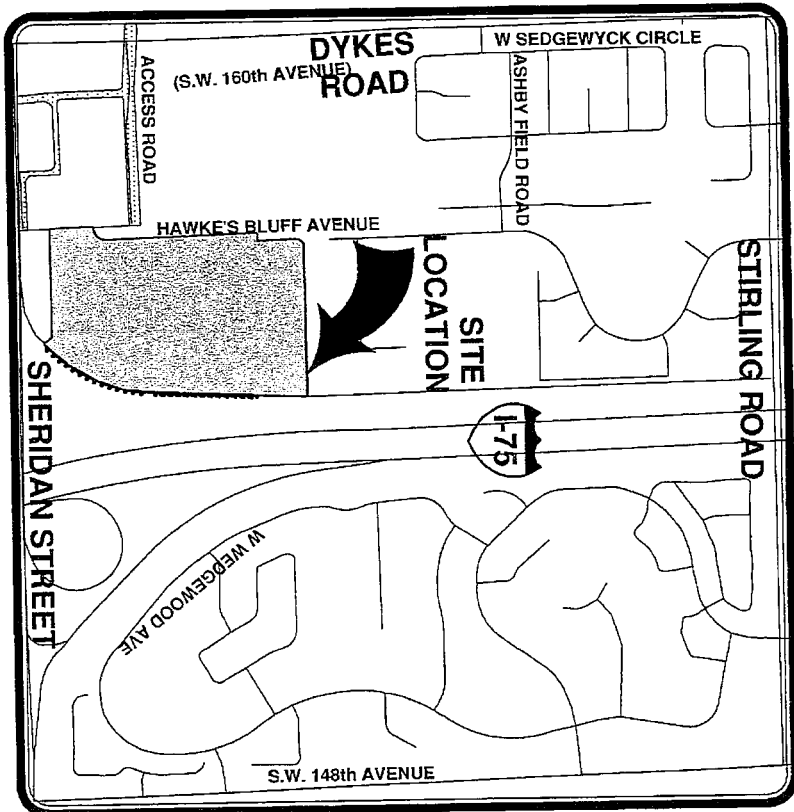
Paradise Cinemark Retail Redevelopment

April 12, 2017

My name is Paul Lepine, on behalf of Southwest Broward Theaters Holdings, Ltd. and we are here this morning to present a conceptual redevelopment plan for a portion of the Sheridan Shoppes (most commonly known as the Paradise Cinemark) property. The site is approximately 42.30 acres in size and located on the west side of I-75 at Sheridan Street. The property is anchored by the Cinemark 24 screen movie theater which has been a staple for moviegoers in this area for nearly 20 years. This redevelopment plan proposes to add approximately 72,900 square feet of retail and restaurant uses set in a "town-center" atmosphere in various buildings interconnected with pedestrian-friendly walkways. The property currently has retention lakes that are owned and maintained by SBDD. This plan proposes to modify the configuration of the lakes and turn them into an integral design feature of the proposed development. Many of the new buildings are designed to overlook the retention lakes making this ideal for outdoor dining areas. We believe this will create a very pleasant dining and shopping experience so that patrons remain on-site to enjoy the other entertainment experiences on the Property.

As part of this redevelopment plan, the owner is working to acquire additional land located to the north of the existing property. This parcel is owned by the Town of Davie and the owner has already approached the Town to initiate the acquisition of this land. This land area will be used for additional parking areas bringing the total land area to 50.79 acres.

As I mentioned earlier, this plan proposes to reconfigure the retention lakes owned by SBDD. We have coordinated and continue to work with the District's Director on project criteria and considerations. We are presenting this plan to obtain your suggestions as to the method by which we can acquire land or use rights from SBDD to achieve our development objectives. We see this as an underutilized property that can be transformed into a fun destination for people to gather, meet and enjoy additional entertainment and dining opportunities. We look forward to obtaining your feedback this morning.



SECTION 4, TOWNSHIP 51 SOUTH, RANGE 40 EAST
LOCATION MAP
 N.T.S.

LOCATION SKETCH

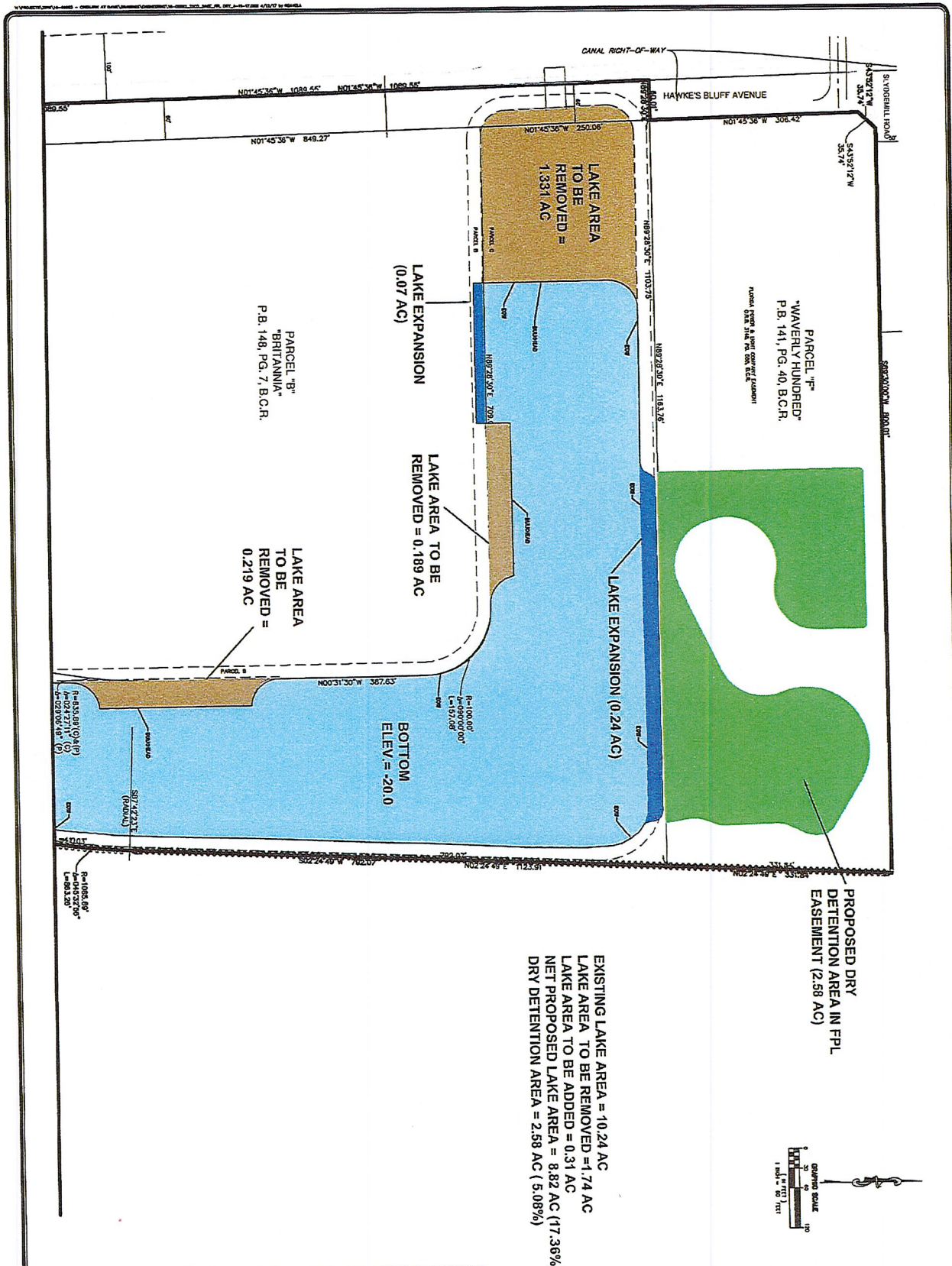
DATE	BY	REV
10-00983	01.0	1

MILLER LEGG
 Survey, Planning, Design, Engineering, Architecture
 14100 N.W. 22nd Street, Suite 200, Davie, FL 33317
 Phone: 954-944-3333 Fax: 954-944-3334
 www.millerlegg.com

SOUTHWEST BROWARD THEATERS HOLDINGS, LTD

TOWN OF DAVIE, BROWARD COUNTY, FLORIDA

DATE	BY	REV



CONCEPTUAL LAKE MODIFICATION PLAN W/ FPL-DRY DETENTION

DATE	12/11/18
SCALE	AS SHOWN
PROJECT NO.	18-00093
CITY	DAVIE

MILLER LEGG
 Surveying & Engineering
 5217 N. Andrews Way
 Ft. Lauderdale, Florida 33309-2624
 Phone: 954-346-2000 Fax: 954-346-2004
 www.millerlegg.com

SOUTHWEST BROWARD THEATERS HOLDINGS, LTD

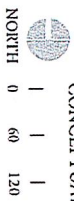
TOWN OF DAVIE, BROWARD COUNTY, FLORIDA

NO.	REVISION



- 1 MAIN ENTRANCE BOULEVARD
- 2 DRY DETENTION AREA
- 3 DRIVE THROUGH
- 4 EXISTING THEATER
- 5 MAIN DRIVE WITH LANDSCAPE IMPROVEMENTS
- 6 MAIN STREET WITH ON-STREET PARKING
- 7 PEDESTRIAN STREET / MAIN STREET WITH ON-STREET PARKING
- 8 ROUNDABOUT
- 9 GONDOLA WHARF PLAZA
- 10 GONDOLA RIDES
- 11 BOARDWALK
- 12 BAND STAGE PLAZA
- 13 WATER EDGE IMPROVEMENTS
- 14 PARKING LOT
- 15 RETENTION AREA
- 16 EXIT ONLY
- 17 EXISTING SERVICE ROAD
- 18 PEDESTRIAN WALK

CONCEPTUAL MASTER PLAN
APRIL 12, 2017



diamondesign

Mc CROY
Civil & Survey Engineers

SHERIDAN SHOPPING CENTER DEVELOPMENT
TOWN OF DAVIE, BROWARD COUNTY, FLORIDA

MEMORANDUM

DATE: April 20, 2017

TO: South Broward Drainage District Commissioners

FROM: Kevin M. Hart, P.E.
District Director

Subject: Request to Vacate the Surface Water Management Area Previously Designated on the Property Owned by Luis and Dhyana Rodriguez

Comments:

The owners of the property located at 5880 SW 166th Avenue, Southwest Ranches, FL 33331 are requesting that SBDD vacate a portion of the Surface Water Management Area (SWMA) that was previously designated and recorded under Instrument No. 112970666, Broward County Records. All properties in the SW Ranches are required to set aside 20% of their property at elevation 5.0' (or an equivalent storage area) as a SWMA.

The property owners, Luis and Dhyana Rodriguez, will dedicate a new SWMA over the property to comply with the 20% SWMA requirement (see attached sketch).

SBDD staff has reviewed the request and has no objections.

Financial impacts to this Agenda Item: none, other than SBDD administrative costs; all other costs will be incurred by the property owner.

The request is for SBDD to vacate and release its interest in the Surface Water Management Area on the property located at 5880 SW 166th Avenue, Southwest Ranches, FL 33331, as described in the attached "Release and Vacation of Surface Water Management Area Designation". Said vacation is a Partial Vacation of the Surface Water Management Area recorded under Instrument No. 112970666, B.C.R. This request is subject to the dedication of a new Surface Water Management Area in accordance with SBDD Criteria.

KH
Attachments

RODRIGUEZ, LUIS & DHYANA



LOCATION: 5880 S.W. 166TH AVE., SWR

Prepared by: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331

Return to: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331
(954) 680-3337

Folio No.: 504032050120

**RELEASE AND VACATION OF
SURFACE-WATER MANAGEMENT AREA DESIGNATION**

THIS RELEASE AND VACATION OF SURFACE-WATER MANAGEMENT AREA DESIGNATION executed this ____ day of _____, 2017, by SOUTH BROWARD DRAINAGE DISTRICT, a political subdivision of the State of Florida, having its principal place of business at 6591 Southwest 160 Avenue, Southwest Ranches, Florida, 33331, first party, to **LUIS RODRIGUEZ** and **DHYANA RODRIGUEZ**, his wife, whose post office address is 5880 S.W. 166th Avenue, Southwest Ranches, Florida 33331, their successors and assigns as their interest may appear of record, second party:

(Wherever used herein, the term "first party" shall include singular and plural, heirs, legal representatives, assigns of individuals, the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, that the first said party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the SURFACE-WATER MANAGEMENT AREA DESIGNATION located on the following described lot, piece or parcel of land situate, lying and being in the County of Broward, State of Florida, to-wit:

THE EAST 27 FEET AND THE SOUTH 18 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

LOT 4, IN BLOCK 2 OF GREEN MEADOWS SECTION TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 86, PAGE 28, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

(This is intended to vacate the surface-water management area dedication recorded on May 6, 2015, in the Broward County Public Records Instrument # 112970666.)

The purpose of this Release and Vacation of SURFACE-WATER MANAGEMENT DESIGNATED AREA is to release and vacate the first parties interest in and to the SURFACE-WATER MANAGEMENT DESIGNATED AREA located on second parties property as described above. No other interest of the first party is being released or vacated by this document.

TO HAVE AND TO HOLD, the same together with all singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has caused these presents to be executed in its name, and its seal to be hereunto affixed, by its proper officers thereunto duly authorized the day and year first above written.

Signed, sealed and delivered
in the presence of:

SOUTH BROWARD DRAINAGE DISTRICT

Witness Signature

SCOTT HODGES, Chairperson

Witness Printed Name 1

Witness Signature

ROBERT E. GOGGIN, IV, Secretary

Witness Printed Name 1

District Seal:

STATE OF FLORIDA)
)§
COUNTY OF BROWARD)

The foregoing instrument was executed before me this ____ of _____, 2017 Scott Hodges and Robert E. Goggin, IV, as Chairperson and Secretary, respectively of the SOUTH BROWARD DRAINAGE DISTRICT, first party. They are personally known to me.

WITNESS my hand and official seal in the County and State lat aforesaid this ____ day of _____, 2017.

(NOTARY SEAL & STAMP)

NOTARY PUBLIC: STATE OF FLORIDA AT LARGE

Prepared by: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331

Return to: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331
(954) 680-3337

Folio No.: 504032050120

(NEW SWMA TO BE DEDICATED)

SURFACE-WATER MANAGEMENT AREA DESIGNATION

THIS SURFACE-WATER MANAGEMENT AREA DESIGNATION is granted this 13 day of April 2017, by **LUIS RODRIGUEZ** and **DHYANA RODRIGUEZ**, his wife, whose address is 5880 S.W. 166th Avenue, Southwest Ranches, Florida 33331, hereinafter referred to as "Grantors", to SOUTH BROWARD DRAINAGE DISTRICT, a political subdivision of the State of Florida, located at 6591 Southwest 160 Avenue, Southwest Ranches, Florida 33331, hereinafter referred to as "District".

WITNESSETH

That the Grantors, for and in consideration of the sum of ten dollars (\$10.00) and other goods and valuable consideration in hand paid by District, the receipt whereof is hereby acknowledged, do hereby grant and convey to District, its successors and assigns, a perpetual and exclusive SURFACE-WATER MANAGEMENT AREA for the storage and flowage of surface water together with any necessary appurtenances incidental and necessary thereto, over, across and through the following described property of Grantors:

SEE EXHIBITS "A" AND "B" ATTACHED HERETO

of such character and sufficient size as to make a proper and adequate drainage system that District, its successors and assigns may establish.

Together with free ingress, egress and regress across said lands for the purpose of maintaining and repairing the drainage system and appurtenances therein.

The Grantors further acknowledge that the SURFACE-WATER MANAGEMENT AREA shall be used for storage and flowage of storm water, shall not be filled in and shall not be raised to an elevation above normal ground elevation and shall be maintained by the Grantors.

IN WITNESS WHEREOF, we have hereunto set our hands and seals the day and year first above written.

Signed, sealed and delivered
in the presence of:

"GRANTORS"

Susan Tratzogini
Witness Signature

[Signature]
Grantor Signature

Susan Tratzogini
Witness Printed Name

LUIS RODRIGUEZ
Grantor Printed Name

Panela Walsh
Witness Signature

PANELA WALSH
Witness Printed Name

Susan Tratzofici
Witness Signature
Susan Tratzofici
Witness Printed Name
Pamela Walsh
Witness Signature
Pamela Walsh
Witness Printed Name

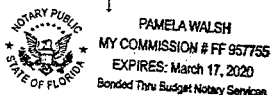
Dhyana Rodriguez
Grantor Signature
DHYANA RODRIGUEZ
Grantor Printed Name

STATE OF FLORIDA)
)
COUNTY OF BROWARD)

THE FOREGOING SURFACE-WATER MANAGEMENT AREA DESIGNATION WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF April, 2017, BY LUIS RODRIGUEZ AS GRANTOR WHO IS PERSONALLY KNOWN TO ME (OR) HAS PRODUCED Driver's license (TYPE OF IDENTIFICATION).

WITNESS MY HAND AND OFFICIAL SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 13 DAY OF April, 2017.

NOTARY SEAL AND STAMP



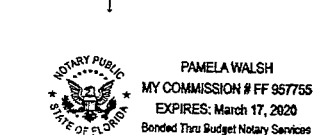
Pamela Walsh
NOTARY PUBLIC
PAMELA WALSH
PRINTED OR STAMPED NAME OF NOTARY PUBLIC

STATE OF FLORIDA)
)
COUNTY OF BROWARD)

THE FOREGOING SURFACE-WATER MANAGEMENT AREA DESIGNATION WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF April, 2017, BY DHYANA RODRIGUEZ AS GRANTOR WHO IS PERSONALLY KNOWN TO ME (OR) HAS PRODUCED Driver's license (TYPE OF IDENTIFICATION).

WITNESS MY HAND AND OFFICIAL SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 13 DAY OF April, 2017.

NOTARY SEAL AND STAMP



Pamela Walsh
NOTARY PUBLIC
PAMELA WALSH
PRINTED OR STAMPED NAME OF NOTARY PUBLIC

SOUTH BROWARD DRAINAGE DISTRICT

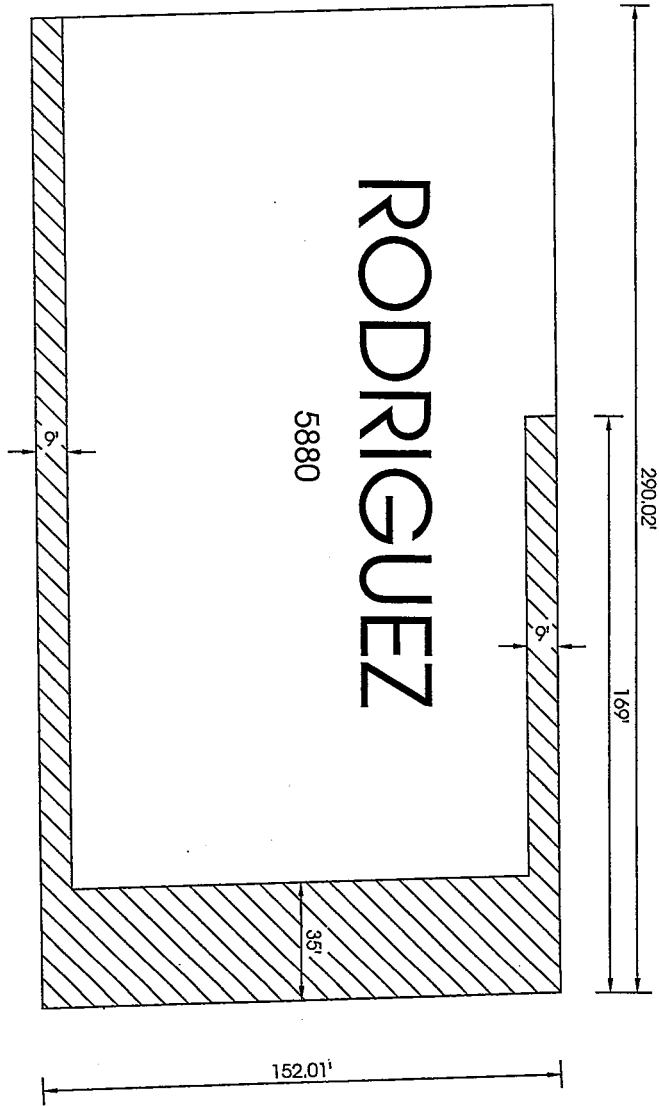
EXHIBIT "A" TO
SURFACE-WATER MANAGEMENT AREA DESIGNATION

THE SOUTH 9 FEET; TOGETHER WITH THE EAST 35 FEET; TOGETHER WITH THE NORTH 9 FEET OF THE EAST 169 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

LOT 4, IN BLOCK 2 OF GREEN MEADOWS SECTION TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 86, PAGE 28, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE. LYING AND BEING IN BROWARD COUNTY, FLORIDA

S.W. 166TH AVENUE



▨ SURFACE-WATER MANAGEMENT AREA TO BE MAINTAINED AT ELEVATION 5.00' N.G.V.D. OR LOWER (8,821 S.F. PROVIDED)

THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY. THIS IS NEITHER A SURVEY NOR AN ENGINEERING PLAN.

SCALE = N.T.S.
LUIS & DHYANA RODRIGUEZ
5880 S.W. 166TH AVENUE
PROP. ID # 5040 3205 0120

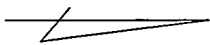


EXHIBIT B

Prepared by: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331

Return to: South Broward Drainage District
6591 S. W. 160 Avenue
Southwest Ranches, Florida 33331
(954) 680-3337

Folio No.: 504032050120

INSTR # 112970666
Recorded 05/06/15 08:52:38 AM
Broward County Commission
Deputy Clerk 3110
#1, 4 Pages

(ORIGINAL, RECORDED SWMA
TO BE VACATED)

SURFACE-WATER MANAGEMENT AREA DESIGNATION

THIS SURFACE-WATER MANAGEMENT AREA DESIGNATION is granted this 8th day of April, 2015, by **LUIS RODRIGUEZ** and **DHYANA RODRIGUEZ**, husband and wife, whose address is 5880 S.W. 166th Avenue, Southwest Ranches, Fl 33331, hereinafter referred to as "Grantors", to SOUTH BROWARD DRAINAGE DISTRICT, a political subdivision of the State of Florida, located at 6591 Southwest 160 Avenue, Southwest Ranches, Florida 33331, hereinafter referred to as "District".

WITNESSETH

That the Grantors, for and in consideration of the sum of ten dollars (\$10.00) and other goods and valuable consideration in hand paid by District, the receipt whereof is hereby acknowledged, do hereby grant and convey to District, its successors and assigns, a perpetual and exclusive SURFACE-WATER MANAGEMENT AREA for the storage and flowage of surface water together with any necessary appurtenances incidental and necessary thereto, over, across and through the following described property of Grantors:

SEE EXHIBITS "A" AND "B" ATTACHED HERETO

of such character and sufficient size as to make a proper and adequate drainage system that District, its successors and assigns may establish.

Together with free ingress, egress and regress across said lands for the purpose of maintaining and repairing the drainage system and appurtenances therein.

The Grantors further acknowledge that the SURFACE-WATER MANAGEMENT AREA shall be used for storage and flowage of storm water, shall not be filled in and shall not be raised to an elevation above normal ground elevation and shall be maintained by the Grantors.

IN WITNESS WHEREOF, we have hereunto set our hands and seals the day and year first above written.

Signed, sealed and delivered
in the presence of:

"GRANTORS"

Susan Tratzogui
Witness Signature

Susan Tratzogui
Witness Printed Name †

Reina I. Munz
Witness Signature

Reina I. Munz
Witness Printed Name †

[Signature]
Grantor Signature

LUIS RODRIGUEZ
Grantor Printed Name †

Susan Irazoqui
Witness Signature

Susan Irazoqui
Witness Printed Name 1

Reina I. Muniz
Witness Signature

Reina I. Muniz
Witness Printed Name 1

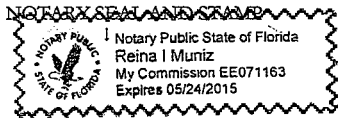
Dhyana Rodriguez
Grantor Signature

DHYANA RODRIGUEZ
Grantor Printed Name 1

STATE OF FLORIDA)
)
COUNTY OF BROWARD)

THE FOREGOING SURFACE-WATER-MANAGEMENT AREA DESIGNATION WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF April, 2015, BY LUIS RODRIGUEZ AS GRANTOR, WHO IS PERSONALLY KNOWN TO ME (OR) HAS PRODUCED DL# R362520793460 (TYPE OF IDENTIFICATION).

WITNESS MY HAND AND OFFICIAL SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 8th DAY OF April, 2015.

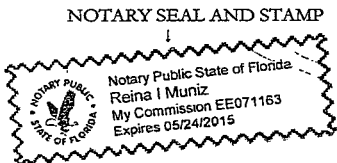


Reina I. Muniz
NOTARY PUBLIC
Reina I. Muniz
PRINTED OR STAMPED NAME OF NOTARY PUBLIC

STATE OF FLORIDA)
)
COUNTY OF BROWARD)

THE FOREGOING SURFACE-WATER-MANAGEMENT AREA DESIGNATION WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF April, 2015, BY DHYANA RODRIGUEZ AS GRANTOR, WHO IS PERSONALLY KNOWN TO ME (OR) HAS PRODUCED DL# R36217578820 (TYPE OF IDENTIFICATION).

WITNESS MY HAND AND OFFICIAL SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 8th DAY OF April, 2015.



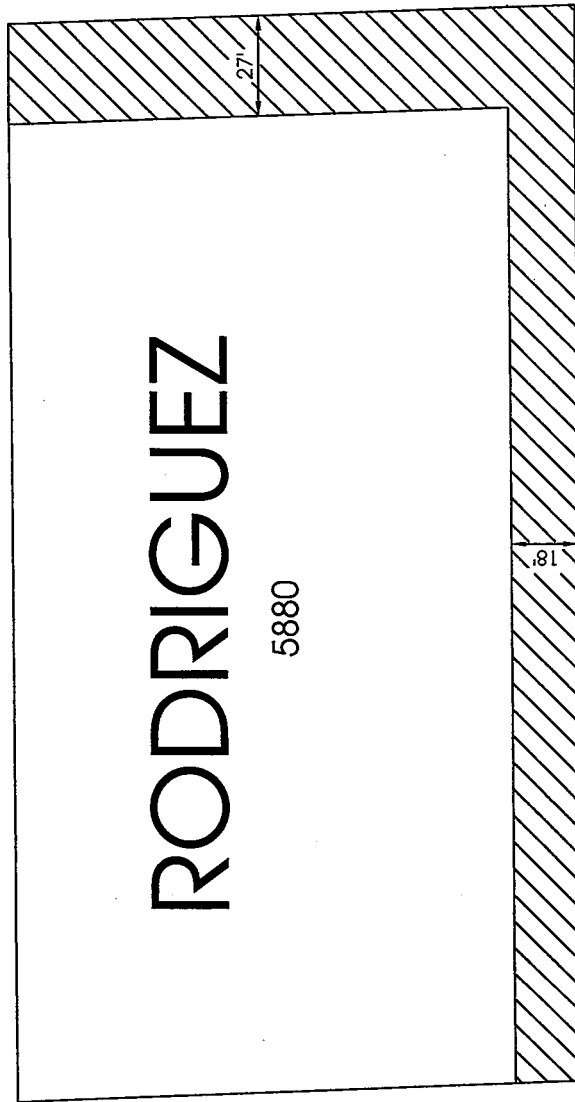
Reina I. Muniz
NOTARY PUBLIC
Reina I. Muniz
PRINTED OR STAMPED NAME OF NOTARY PUBLIC

EXHIBIT "A" TO
SURFACE-WATER MANAGEMENT AREA DESIGNATION

THE EAST 27 FEET AND THE SOUTH 18 FEET OF THE FOLLOWING-DESCRIBED PROPERTY:

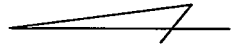
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SAID LANDS SITUATE AND BEING IN BROWARD COUNTY, FLORIDA



S.W. 166TH AVENUE

 SURFACE-WATER MANAGEMENT AREA TO BE
 MAINTAINED AT ELEVATION 5.00' N.G.V.D. OR LOWER
 (8,838 S.F.)



SCALE = N.T.S.
 LUIS & DHYANA RODRIGUEZ
 5880 S.W. 166TH AVENUE
 PROP. ID # 5040 3205 0120

THIS DRAWING IS FOR INFORMATIONAL
 PURPOSES ONLY. THIS IS NEITHER A
 SURVEY NOR AN ENGINEERING PLAN.

MEMORANDUM

DATE: April 20, 2017
TO: South Broward Drainage District Commissioners
FROM: Kevin M. Hart, P.E.
District Director
Subject: Contract Award for SBDD Maintenance Building Expansion Project

Comments:

South Broward Drainage District (SBDD) received five (5) bids for the SBDD Maintenance Building Expansion Project. The bid included a Base Bid price, plus two Alternate Bid prices as follows:

- Solar Power
- Piping for future air compressor

The bids ranged in price from \$557,000 to \$735,659 for the base bid; and from \$586,100 to \$813,788 for the base bid plus the two alternate bids. Each bidder was required to attend the pre-bid meeting and visit the site as a prerequisite to submitting a bid. A copy of the Bid Summary is attached.

The lowest bid was submitted by Republic Construction Corporation (Republic). A preliminary review by SBDD indicates that the bid submitted by Republic is complete and meets all requirements, and that the Contractor is qualified to perform the work. In addition, SBDD has contacted several references for Republic and has received positive responses.

The bid does not include the cost for "Site Work", as that work was intended to be performed separately by SBDD in an effort to reduce costs; or permitting costs. The estimated cost of the "Site Work" is \$20,000; and the estimated cost for permitting is \$25,000. Therefore, the total construction and permitting costs for the project are estimated to be \$602,000; the architectural costs are \$43,950, bringing the total estimated cost to \$645,950. These costs do not include the alternate bid items.

Prior to the bid, the architect for the project (CPZ Architects, Inc.) had provided an Opinion of Construction Cost for the project that totaled \$567,490.

This project is included as part of the District's 2016-2017 Capital Improvement Plan; and funding for the project was originally intended to come from the SBDD CIP Committed Account.

Based on the bid results, updated project cost estimate, and construction schedule, the following funding schedule has been prepared:

Total Project Cost = \$645,950

CIP Funding = \$482,100

\$395,100 in FY 2016-2017

\$ 87,000 in FY 2017-2018

General Operating Funding = \$163,850

\$ 80,000 in FY 2016-2017

\$ 83,850 in FY 2017-2018

I am recommending that the District award the contract for the SBDD Maintenance Building Expansion Project to Republic Construction Corporation in the total amount of \$557,000 as the lowest responsive, responsible bidder. The Alternate Bid items are not included in this amount.

Financial Impacts to this Agenda item: This project is included as part of the District's 2016-2017 Capital Improvement Plan; and funding for the project will come from the SBDD CIP Committed Account (\$482,100) and the SBDD General Operating Account (\$163,850) over a 2-year period as noted above.

This is to request approval for the award of the contract for the SBDD Maintenance Building Expansion Project in SW Ranches to Republic Construction Corporation in the total amount of \$557,000. Funding for this project will come from the SBDD CIP Committed Account (\$482,100) and the SBDD General Operating Account (\$163,850) over a 2-year period.

KH

Attachments

BID TABULATION
SOUTH BROWARD DRAINAGE DISTRICT
MAINTENANCE BUILDING EXPANSION PROJECT IN SWR
Tuesday, April 18, 2017
(BID RESULTS HAVE NOT BEEN FULLY EVALUATED)

<u>COMPANY NAME</u>	BID AMOUNTS			COMMENTS
	BASE BID AMT.	ALTERNATE BID AMT.	LUMP SUM FOR BOTH BASE BID & ALTERNATE BID	
WEST CONSTRUCTION, INC.	\$735,659.00	\$39,000.00	\$774,659.00	
ALLEN CONSTRUCTION GROUP	\$685,902.00	\$127,886.00	\$813,788.00	
OAC ACTION CONSTRUCTION, CORP.	\$647,377.00	\$41,733.00	\$689,110.00	
AHRENS COMPANIES	\$643,149.00	\$36,672.00	\$679,821.00	
LEE CONSTRUCTION GROUP, INC.	\$624,114.00	\$40,145.00	\$664,259.00	
REPUBLIC CONSTRUCTION CORP.	\$557,000.00	\$29,100.00	\$586,100.00	

South Broward Drainage District
Comparative Statement of Revenues and Expenses
General Fund (Budgetary Basis)

Ordinary Income/Expense	<u>Oct '16 - Mar 17</u>	<u>Annual Budget</u>
Income		
1402 · Maintenance	2,896,302.19	3,110,681.00
1404 · Permit Fees	36,135.01	35,000.00
1405 · 5 Year Recertification Program	19,195.00	35,000.00
1406 · Residential and Lot Permit Fees	15,457.50	25,000.00
1407 · Telecommunications Annual Fee	3,500.00	3,500.00
1408 · Appropriation of Fund Balance	0.00	188,560.90
1410 · Interest Income	6,391.25	6,000.00
1416 · Miscellaneous Income	101,397.55	1,000.00
Total Income	3,078,378.50	3,404,741.90
Expense		
1412 · South Broward Collection Fee	55,488.51	62,213.62
1414 · Discounts (Early Tax Payments)	111,567.34	111,984.52
1501 · Administrative - Office	171,406.53	345,246.72
1503 · Board of Supervisors	18,900.00	37,800.00
1505 · Field Operations	257,898.54	518,706.24
1506 · Inspectors/Project Coord.	126,450.46	255,211.84
1507 · Payroll Taxes - FICA	44,291.82	93,480.31
1509 · Pension	55,892.17	107,467.12
1513 · Payroll Other	48,676.38	64,681.53
1520 · Accounting Fees	25,000.00	25,000.00
1535 · Engineer/Consult Fees/Spec Proj	5,190.00	65,000.00
1540 · Legal Fees	17,858.34	60,000.00
1543 · Legal Fees Special Proj.	0.00	25,000.00
1544 · Other Expense	0.00	1,000.00
1550 · Commercial Property Package	32,872.00	36,000.00
1555 · General/Hazard Liability	37,680.00	38,000.00
1560 · Group Health, Life & Dental	176,797.75	395,000.00
1570 · Workers Compensation	20,817.00	38,500.00
1575 · Advertising	1,280.30	6,500.00
1585 · Computer Supplies - Upgrades	1,474.85	10,000.00
1590 · Dues & Subscriptions	4,390.00	5,800.00
1600 · FPL - Electric	5,523.48	13,000.00
1603 · Gas (LP) Auxiliary Power	0.00	5,000.00
1605 · Janitorial Service	856.75	2,000.00
1610 · Licenses & Fees	175.00	1,000.00
1615 · Maintenance Contracts	5,060.81	10,200.00
1620 · Uniforms	1,950.09	2,500.00
1625 · Office Supplies - Postage	2,017.82	5,000.00
1630 · Payroll Service	1,937.80	3,800.00
1635 · Printing - Stationary	400.18	1,800.00
1640 · Public Records Storage/Filing	1,915.00	35,000.00
1645 · Telephone - Misc. Communication	7,076.34	15,000.00

South Broward Drainage District
Comparative Statement of Revenues and Expenses
General Fund (Budgetary Basis)

	<u>Oct '16 - Mar 17</u>	<u>Annual Budget</u>
1650 · Water & Sewer	1,163.16	2,100.00
1655 · Buildings & Grounds	19,713.72	35,000.00
1660 · Equipment Rental/Outside Svcs.	5,809.08	5,000.00
1665 · Equip/Vehic/Boats/Hvy Equip	15,101.61	30,000.00
1670 · Fuel/Oil/Lubric. (Pump Stat)	5,067.17	60,000.00
1675 · Fuel/Oil/Lubric. (Vehic/Equip)	14,949.97	40,000.00
1677 · Hazardous Mat./Spill Cont.	0.00	5,000.00
1680 · Janitorial Supplies - Carp. Clg	0.00	1,000.00
1683 · Hurricane Preparedness Supp.	0.00	1,500.00
1685 · Landscaping & Mowing	18,745.45	35,000.00
1690 · Photography - VCR Equip. & Phot	0.00	250.00
1695 · Pump Stations - Flood Gates	109,311.22	70,000.00
1700 · Safety/SCUBA - Inspect Equip.	1,219.84	2,500.00
1705 · Sanitat. - Exterminating Serv.	6,010.56	10,000.00
1710 · Small Tools - Shop Supplies	5,157.63	9,000.00
1715 · Water Rcorde/Elev Gge/Telemetry	192.22	8,000.00
1720 · CanaL/Swale Cleaning/Renovation	8,086.69	30,000.00
1725 · Culvert Cleaning/Inspection	15,556.25	50,000.00
1730 · Culvert Repair - Flapper Gates	0.00	40,000.00
1735 · Endwall Repair - Replace./Upgrd	0.00	5,000.00
1740 · Erosion Control	0.00	45,000.00
1745 · Gates/Barrier/Fence/Ramp/Sign	128.12	5,000.00
1747 · Outfall Structures	0.00	2,000.00
1750 · Trash Rack/Piling/Tank Upgr.	0.00	10,000.00
1755 · Tree Removal	33,428.00	30,000.00
1765 · Herbicides	117,080.35	370,000.00
1770 · Triploid Carp/Fsh Guards/Maint	12,196.00	30,000.00
1775 · Water Testing	765.00	8,000.00
1780 · Seminars/Meetings/Conferences	4,337.46	8,500.00
1781 · Basin S-3 Drainage Improvements	0.00	0.00
1785 · Equip./Vehicle Replace./Upgrd	55,016.00	50,000.00
1797 · Contingency/Misc Expense	0.00	10,000.00
Total Expense	<u>1,689,880.76</u>	<u>3,404,741.90</u>

SOUTH BROWARD DRAINAGE DISTRICT
SUMMARY OF DISTRICT FUNDS
April 18, 2017
SBDD ASSET ACCOUNTS

Fund	Cash on Hand	Subtotals	Institution	Investment Accounts	Fund Totals
UNASSIGNED					
General	\$1,524,020	\$1,524,020	Suntrust AdvantageNow	\$247,500 CD-Stonegate	\$2,133,903
				\$247,500 CD- Centennial	
				\$114,883 CD-Bank United	
Payroll	\$9,844	\$9,844	Suntrust		\$9,844
COMMITTED					
Capital Improvements	\$838,595	\$838,595	Suntrust Reserve	\$81,569 CD-Bank United	\$1,599,664
				\$247,500 CD-Landmark	
				\$184,500 CD-PNC Bank	
				\$247,500 CD-FL Community	
Emergency	\$3,246,697	\$3,246,697	Suntrust Reserve		\$3,246,697
Separation	\$160,668	\$160,668	Suntrust Reserve	\$51,048 CD-Bank United	\$274,716
				\$63,000 CD-PNC Bank	
Totals	\$5,779,824	\$5,779,824		\$1,485,000	\$7,264,824

SBDD LIABILITY ACCOUNT

Fund	Cash on Hand	Subtotals	Institution	Investment Accounts	Fund Totals
As-Built	\$408,680	\$408,680	Suntrust Paying	\$247,500 CD-TD Bank	\$656,180
Total	\$408,680	\$408,680		\$247,500	\$656,180
FUND TOTALS				\$1,732,500	\$7,921,004

SBDD INVESTMENT SUMMARY

Investment	Recommendation	Investment Amount	Interest Rate	Issue Date	Maturity Date
Centennial Bank CD		\$247,500	0.20%	7/19/2016	7/19/2017
TD Bank CD		\$247,500	0.37%	8/8/2016	8/8/2017
Stonegate Bank CD		\$247,500	0.40%	8/8/2016	8/8/2017
Landmark Bank CD		\$247,500	1.01%	8/15/2016	11/15/2017
Bank United CD		\$247,500	1.10%	9/30/2016	11/30/2017
PNC Bank CD		\$247,500	0.40%	1/24/2017	2/24/2018
FL Community Bank CD		\$247,500	1.00%	2/25/2017	2/25/2018
TOTAL OF INVESTMENTS		\$1,732,500			

Jul-17	Aug-17	Nov-17	Feb-18
\$247,500	\$495,000	\$495,000	\$495,000

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FORT LAUDERDALE, FLORIDA 33301
(954) 524-8526

April 19, 2017

South Broward Drainage District
6591 Southwest 160th Avenue
Southwest Ranches, Florida 33331

I N V O I C E

Legal services rendered on behalf of South Broward Drainage District from March 22, 2017 through April 18, 2017:

1. Coordination regarding Surplus Property (Land) Policy:

Attorney's Fees: 15 minutes @ \$250.00/hr. = \$ 62.50

TOTAL DUE THIS INVOICE: \$ 62.50

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*** I N V O I C E ***

LEGAL SERVICES REIMBURSABLE FROM PROPERTY OWNERS:

Legal services rendered on behalf of South Broward Drainage District from March 22, 2017 through April 18, 2017:

1. Coordination regarding Miramar Park of Commerce Phase V Plat Note Amendment:

Attorney's Fees: 1 hr. 20 min. @ \$250.00/hr. = \$ 333.33

2. Coordination regarding NBC 6 Lake Maintenance Easement:

Attorney's Fees: 20 minutes @ \$250.00/hr. = \$ 83.33

TOTAL DUE THIS INVOICE: \$ 416.66